



**Stratham Planning Board Meeting Minutes**  
**August 15, 2018**  
**Municipal Center, Selectmen's Meeting Room**  
10 Bunker Hill Avenue  
Time: 7:00 PM

Members Present: Bob Baskerville, Chairman  
Jameson Paine, Vice Chairman  
David Canada, Member  
Diedre Lawrence, Alternate

Members Absent: Mike Houghton, Selectmen's Representative  
Tom House, Secretary  
Robert Roseen, Alternate

Staff Present: Tavis Austin, Town Planner

**1. Call to Order/Roll Call**

The Chairman took roll. Mr. Baskerville asked Ms. Lawrence if she would sit in as a voting member this evening in place of Mr. House. Ms. Lawrence agreed.

**2. Review/Approval of Meeting Minutes**

a. July 18, 2018

Mr. Paine made a motion to approve the meeting minutes of July 18, 2018 minutes as submitted. Mr. Canada seconded the motion. Ms. Lawrence abstained from vote to due to her absence at the July 18, 2018 meeting. Motion carried with three (3) yes votes and one (1) vote abstaining.

**3. Public Hearing**

- a. **Site Plan and Conditional Use Permit Applications** for the revision of an existing site plan and associated parking, utilities, and drainage located at 58 Portsmouth Avenue, Stratham, NH 03885, Map 9 Lot 15 submitted by Wayne Morrill, Jones & Beach Engineers, Inc., 85 Portsmouth Ave., Stratham, NH 03885—*Continuance to September 5, 2018 Requested*

Mr. Austin stated the board has a copy of the applicant's request for continuance to the next available planning board meeting.

Mr. Paine made a motion to continue the site plan application until the September 5, 2018 meeting. Ms. Lawrence seconded the motion. Motion carried unanimously.

- b. **Condominium Subdivision and Site Plan Amendment Applications** for approved residential/commercial buildings with private well and on-site septic at 149 & 151 Portsmouth Avenue, Stratham, NH 03885, Map 17 Lot 40 submitted by Mark Perlowski, Perlowski Properties, LLC, P.O. Box 1137, Stratham, NH 03885.

Mr. Austin stated the original application that was submitted with the condominium subdivision which separates the three (3) approved buildings on the site plan into three (3) condominium lots to include Home Owner's Association documents and bylaws that go with a condominium subdivision. In the submission this evening is a result of some ongoing discussion with the Heritage Commission and the property owner with regard to the Old Town Hall. The owner wanted to provide garage spaces for the Old Town Hall which was originally up close the rear façade of the Old Town Hall and after discussion with the Heritage Commission, see the letter submitted this evening which states the garage should be more subservient to the old Town Hall structure. The applicant has proposed putting a six (6) bay garage over the six (6), previously open, uncovered parking stalls with no impact on drainage or septic. The location does not change. Mr. Austin stated staff does not see this as a site plan amendment and recommends the board make this finding or leave the option open until the board further defines what a minor amendment is or isn't. Mr. Austin recommends approval of the condominium plat as submitted and allow its recordation to suffice as a site plan amendment. The contents of the plan submitted for the subdivision is what was approved with the site plan approval on April 18, 2018. Mr. Austin stated the plan before the board this evening is the site plan, as approved, with a garage and the addition of the condominium lines, or limited common area lines which come with the condominium plat. Staff recommends conditions are coordination with the assessing department for map, lot, and address numbers to be recorded on the mylar with the condominium, as well as town counsel review of the Home Owner Association docs and bylaws.

Joseph Nichols, Beals Associates, representing Perlowski Properties. Mr. Nichols explained the applicant is looking to enclose the parking spaces behind the Old Town Hall. The applicant had a renter for 149 Portsmouth Avenue (Unit #2) and the renter would like to purchase the property as opposed to renting. The Home Owner Association and condominium docs are submitted and the applicant has coordinated with the assessing department regarding the map, lot, and address numbers to be added to the mylar. Mr. Baskerville questioned if the condominium plan is three (3) units, one per building, or are there condominiums within the buildings. Mr. Nichols stated, at the present time, it is being proposed as each building being a condominium. Mr. Paine questioned if the associations are maintained strictly the buildings. Mr. Nichols stated there will be overlap between the associations to maintain properties. The board asked for the construction materials and design of the garage. Mr. Nichols stated it is the same materials as the units. Ms. Lawrence questioned if the garage enclosure impacts the number of handicapped spaces which are required. Mr. Nichols stated no. Mr. Austin stated, for the condominium, is turning the plan into deeds with the stamps.

94 Mr. Canada made a motion to accept this application as a minor change to an existing  
95 site plan and no full site plan review is required. Ms. Lawrence seconded the motion.  
96 Motion carried unanimously.

97  
98 Mr. Canada made a motion to accept the condominium subdivision application as  
99 complete. Mr. Paine seconded the motion. Motion carried unanimously.

100  
101 Mr. Baskerville opened the meeting up for public comment.

102  
103 Brad Jones, 158 Portsmouth Avenue, voiced his concern with the buildings being too  
104 high. Mr. Austin stated to the board that Mr. Scheel, owner of 154 Portsmouth  
105 Avenue, stopped into the planning office to view the file for this application and stated  
106 his approval for this project. Mr. Deschaine stated he is neither for nor against and in  
107 light of the board's action to waive the site plan review, which is appropriate, the mylar  
108 should depict the condominium and should also depict the building to make it clear  
109 which unit's property the garage is located. Mr. Austin stated the garage is located on  
110 Unit #1. Mr. Paine questioned the lighting. Mr. Perlowski stated the proposal is to add  
111 a recessed light over each garage door.

112  
113 Mr. Paine motion a motion to accept the condominium subdivision and minor site plan  
114 as submitted with the condition to coordinate with the assessing department for map,  
115 lot, and address numbers prior to recordation of the mylar and town counsel review of  
116 the Home Owner Association docs and bylaws. Mr. Canada seconded the motion.  
117 Motion carried unanimously.

- 118  
119 c. **Subdivision Regulation Amendments.** Stratham Planning Board is proposing to  
120 rescind and replace *Addendum A: Road Design & Construction Specifications* of the  
121 Subdivision Regulations.

122  
123 Mr. Austin asked the board to review second floor display areas which are not regulated or  
124 part of the planning process. Mr. Austin has not found zoning for this situation. Mr.  
125 Austin stated it is form-based code and the planning board only looks at what is on the  
126 outside.

127  
128 Mr. Austin stated the majority of errors/corrections are Scribner errors, completion of the  
129 table, and modifying the "cross section".

## ADDENDUM A: ROAD DESIGN & CONSTRUCTION SPECIFICATIONS

### 1. Checklist For Preliminary Hearing:

#### Design Criteria Necessary:

- a. Preliminary design of subdivision.
- b. Plot plan, scale, and designer.
- c. Contour Sheet (5' intervals).
- d. Soils data, name of soil scientist, test pits location and acres (square feet).
- e. Preliminary road location and grades.
- f. Preliminary drainage.
- g. Bench mark, T.P.'s, elevation, and descriptions (NGVD-Datum).
- h. 50' Front setback.

### 2. Checklist For First Public Hearing:

#### Final Design of Project/Subdivision:

(Design checked by ~~construction inspector~~ Department of Public Works before hearing)

#### a. Public Roads

1. Final design of roadway, "profile". (~~scale~~ Scale 1" = 4' vertical; 1" = 40' horizontal.)
2. Contour sheet (2' intervals).
3. Cross sections of road at 50' intervals and at all drainage structures, intersections, and dead-end turnarounds. (**Rev. 7/89**)
4. Final centerline staked on the ground.
5. Profile of road drainage ditches left and right plotted separately on profile paper (scale 1" = 4' vertical, 1" = 40' horizontal.)
6. Complete runoff calculations using the SCS TR 55 method or equivalent. (See Addendum C for storm frequencies.) (**Rev. 7/89**)
7. Finish grades of road profile.
8. Easements plotted on plan "25" foot width.
9. Typical section of roadway shown on plan. Including utilities, sewer and water.

- 159 10. Sight distance and intersection along road. (See Table #1)
- 160 11. Maximum backslopes 3:1 cuts, 4:1 fills, 5:1 cul-de-sac turnaround fills.
- 161 (Rev. 7/89)
- 162 12. Benchmark and T.P.'s (shown on plan described with elev.).
- 163 13. All pipe structures under roadway will be ~~H.D.P.E. R.C.P. class III with mortar~~
- 164 ~~joints or~~ rubber ring gaskets, frame and grate catch basin covers.
- 165 14. Sewer pipe (S.D.R.) 35 P.U.C. laid in a stone envelope 6" all around pipe. Pipe
- 166 locations shown on design with elevations (see typical section with utilities).
- 167 ~~1. Road surface to be asphalt. 3" rolled of base binder, 1" rolled of finish coat.~~
- 168 ~~Hand auger soil borings along centerline (100' stations) of roadway to denote depth to~~
- 169 ~~solid ground. This aids in setting finish grade of road also rough estimate of~~
- 170 ~~gravel necessary.~~
- 171 Under drains may be required by construction inspector~~the~~ Department of Public
- 172 Works. The use of fabric may be necessary; also more gravel may be necessary
- 173 through wet areas. With ledge or any other field problems, the ~~town construction~~
- 174 ~~inspector~~Department of Public Works may require field design changes.
- 175 15. All utilities shown on design. See typical section for water and sewer utilities.
- 176 b. Private Road
- 177 1. Use same design and specifications as for Town Roads (see typical section).
- 178 ~~1.2.~~ All roads shall be considered private until or unless accepted by Town.
- 179 ~~2.3.~~ Construction inspection to be done by Department of Public Works~~Town~~
- 180 ~~Construction Inspector~~, the same as for Town Roads. See Section 6.1 of Site Plan
- 181 Review Regulations.
- 182 4. Must be bonded.
- 183 5. No Town winter maintenance services shall be provided per RSA 231.59\* on
- 184 private roads.
- 185 The Town has adopted New Hampshire State Highway and Bridges Specifications.
- 186 For any specification not covered in these regulations, refer to New Hampshire
- 187 Specifications of Roads.
- 188 3. Construction Specifications:
- 189 a. Subgrade:
- 190 1. Subgrade shaped and compacted full width, ditch cut and shaped.

- 191 2. Grade stakes in place every 50'.
- 192 3. As-built subgrade cross-sections submitted to ~~construction inspector~~Department
- 193 of Public Works.
- 194 4. Subgrade properly graded and crowned with grader.
- 195 5. Maximum compaction, 97%.
- 196 6. No gravel (until subgrade inspected and approved).
- 197 7. Use of construction fabric may be required at unstable/wet locations. This
- 198 determination shall be made by the Department of Public Works. ~~by the Town's~~
- 199 ~~Construction Inspector.~~ (REV. 11/93)
- 200 b. Gravel: (to be approved by Department of Public Works~~inspecting officer~~)
- 201 1. Bank run gravel put in 6" lifts.
- 202 2. Grade stakes in place every 50'.
- 203 3. Compaction test, sieve analysis, and as built cross sections for each lift.
- 204 4. No processed gravel until bank run inspected and approved.
- 205 5. Processed gravel same procedure as bank run gravel.
- 206 6. Compactor on project for subgrade bank run and finished processed gravel.
- 207 7. ~~R.C.P. pipe — all bells to be laid up stream. A.C.C.M.P. pipe will have properly~~
- 208 ~~applied asphalt collars~~HDPE Pipe shall be used for all drainage under the road
- 209 way. All pipe under the roadway shall be a minimum diameter of 12". All
- 210 drainage pipes underneath the road way shall have a minimum of 3' of cover.
- 211 8. Driveway culverts will be (~~HDPE A.C.C.M.P. or P.C.P.~~) 12" diameter minimum,
- 212 length 30'; permits must be acquired from Town Office or building inspector and
- 213 approved by Department of Public Works.
- 214 9. Erosion control measures during construction.
- 215 10. Loam and seeding: 64" of loam, conservation mix recommended for seeding.
- 216 d. Paving Asphalt Finish (REV. 12/16):
- 217 1. Before any paving of roadway a letter of approval by ~~construction inspector~~
- 218 Department of Public Works stating ~~that~~ the subsurface is ready and weather is
- 219 acceptable. This letter will be given to the prime contractor and also to the
- 220 subdivider of the project.
- 221 2. The contractor shall install 2.5 inches of bituminous concrete binder course
- 222 (rolled). (REV. 12/16)

- 223 3. The contractor shall install .35 gallons per square yard of RS-1 tack coat emulsion.  
224 (REV. 12/16)
- 225 4. The contractor shall install 1.5 inches of bituminous concrete surface course  
226 (rolled). (REV. 12/16)
- 227 5. Maintenance bond will be held for one (1) year after completion and Town  
228 acceptance. (Rev. 7/89)
- 229 6. Upon completion of any paving course, developer shall sweep roadway  
230 (minimum once per week) until time of Town acceptance on an as-needed basis  
231 for dust and erosion control to the satisfaction of the Director of Public Works.
- 232 e. As-Built Construction Plans:
- 233 1. Must be delivered to Town before bonds are released.
- 234 2. Must show all drainage structures (stations), inverts and outlet elevations, utility  
235 lines and structures.
- 236 3. Must show road ditches profile.
- 237 4. Must show drainage easements.
- 238 5. Must show any changes from original design.
- 239 6. Must show lot line corner monuments installed. 4" x 5" x 36" stone or concrete.  
240 (Rev. 7/89)
- 241 7. Must indicate Sign Installation:
- 242 i. Stop signs
- 243 ii. Road "name" signs
- 244 iii. Power and telephone
- 245 iv. Road delineators
- 246 8. Bond Release
- 247 a. By Board of Selectmen at the recommendation of Department of Public  
248 Works and Town Planner. and Town Planner. Construction Inspector
- 249 9. ~~Deed road~~ Road right-of-way deed to Town, including all 50' laterals and paper  
250 streets for future utilization.
- 251 ~~10. Acceptance No road shall be accepted by the Town until it has been inspected by~~  
252 ~~the Director of Public Works and found to be constructed in accordance with the~~  
253 ~~specifications prescribed herein or additionally prescribed or agreed by the~~  
254 ~~Planning Board and Approved by the Town Council. Snow plowing will not~~

255 ~~occur by The Highway Department on a proposed publicly maintained road until~~  
256 ~~the road has been accepted by the Town.~~

257 **ADDENDUM A** (continued)

258



259 **ADDENDUM A (continued)**

260 **TABLE 1 – ROADWAY DESIGN CRITERIA** [\(SEE ALSO ADDENDUM A, FIGURES A-D\)](#)

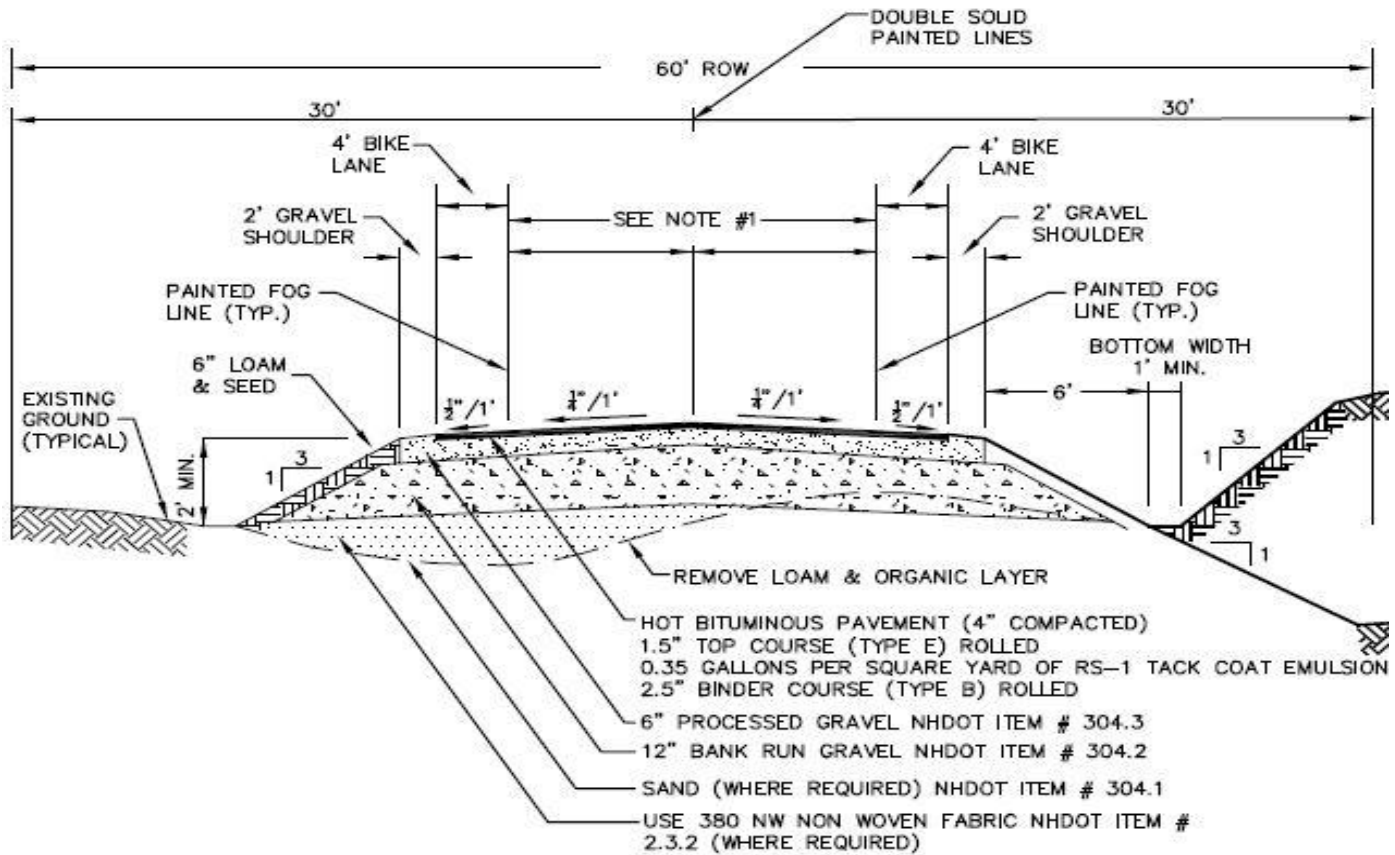
CRITERIA:	ROADWAY TYPE:			
	<del>Local</del> <u>Residential</u> <u>Dead-end</u> :	Residential: <del>Feeder</del> :	<del>Industrial</del> Primary <u>Commercial</u> (Not GW/TC):	Industrial <del>Secondary</del> :
Right-of-Way Width:	60'	60'	<del>75'</del> 60'	60'
<del>Wooded Clear:</del>	<del>up to 70'</del> 60'	<del>up to 70'</del> 60'	<del>80'</del> 60'	<del>80'</del> 60'
<del>Pavement Width:</del>	<del>24'</del> 22'22'	<del>24'</del> 28'	<del>32'</del> 28'	<del>32'</del> 28'
<del>Sidewalk Width</del> <u>Sidewalk Width (1):</u>	<del>6'</del> 5'	<del>6'</del> 5'	<del>5'</del> (1)	<del>5'</del> (1)
Minimum Centerline Radius:	125'	275'	500'	<del>5'</del> 100'
Minimum Curb Radius <u>(if applicable)</u> :	30'	40'	50'	50'
Minimum Profile Grade:	1%	1%	1%	1%
Maximum Grade at Intersection:	2%	2%	2%	2%
Maximum Profile Grade:	8%	8%	8%	8%
Maximum Profile Grade on Curves:	4%	4%	4%	4%
Maximum Profile Grade of Cul-de-Sac Turnaround:	2%	2%	2%	2%
Minimum Stopping Sight Distance:	400' <del>(2)</del>	400' <del>(2)</del>	400' <del>(2)</del>	400' <del>(2)</del>
<del>Distance Between Intersections</del> <u>(Street to Street OR Street to Driveway):</u>	<del>Refer to Section</del> <u>4.4.3.f.200'</u>			
Depth of Gravel Base <u>(See Cross Section)</u> :	18"	18"	18"	18"
Binder Depth <u>(See Cross Section)</u> :	<del>2'</del> 53"	<del>2'</del> 53"	<del>3'</del> 1/2"	<del>3'</del> 1/2"
Surface Depth <u>(See Cross Section)</u> :	1" <del>1.5</del>	1" <del>1.5</del>	<del>1'</del> 1/2"	<del>1'</del> 1/2"

261 (1) At Planning Board Discretion One Side only. ~~(2) Unless modified by Planning Board~~

262

ADDENDUM A (continued)

FIGURE A — ROAD CROSS SECTION



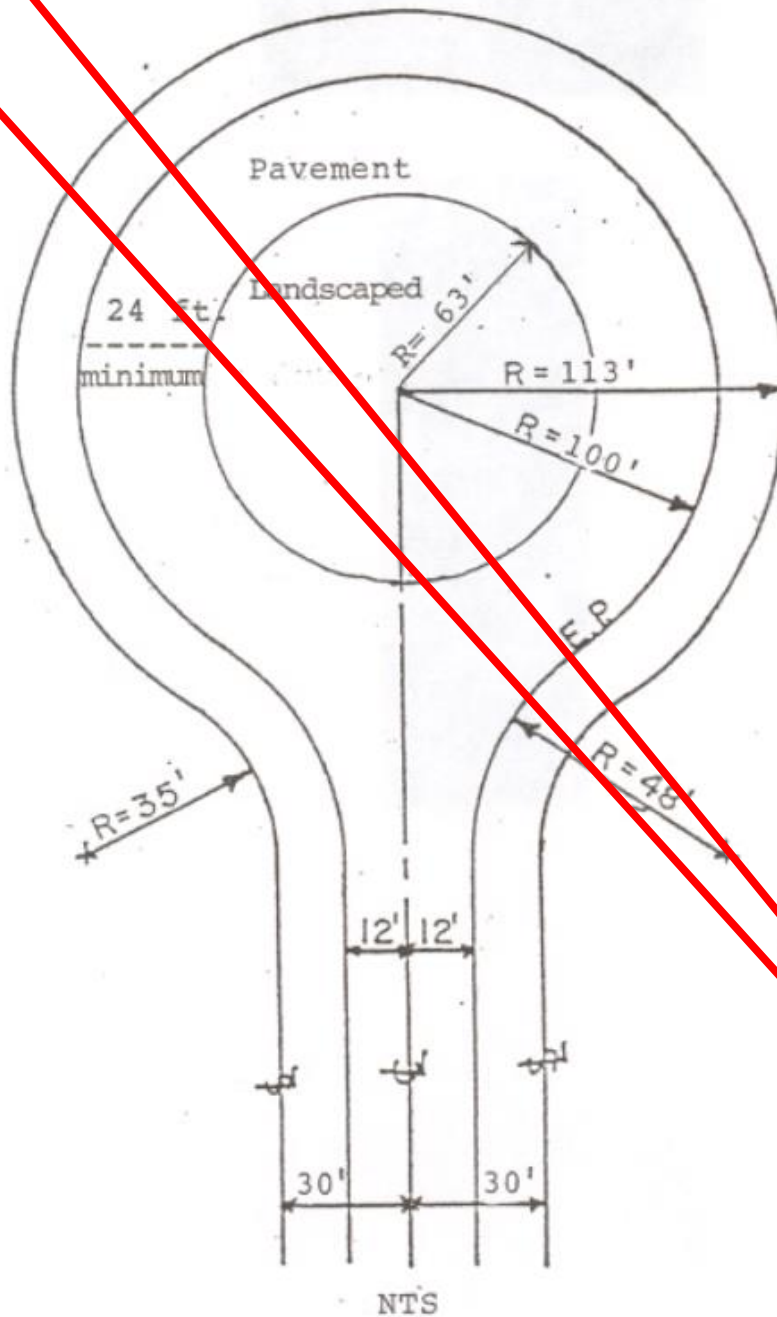
NOTES:

1. PAVEMENT WIDTH TO BE 28' (INCLUDING BIKE LANES), 22' FOR RESIDENTIAL DEAD END ROADS.
2. ALL MATERIALS TO BE INSPECTED, TESTED, AND APPROVED BY DEPARTMENT OF PUBLIC WORKS.
3. ALL CROSS CULVERTS SHALL BE HDPE PIPE WITH A 12" MINIMUM DIAMETER AND A 3' MINIMUM COVER.
4. UNDERDRAINS SHALL BE INSTALLED WHERE REQUIRED BY PUBLIC WORKS.

**TOWN OF STRATHAM**  
**ROAD CROSS SECTION**

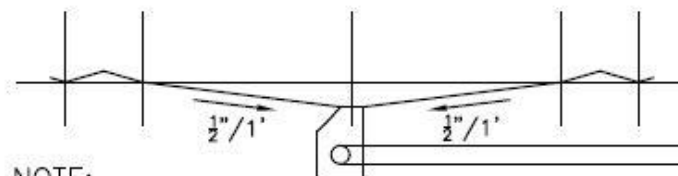
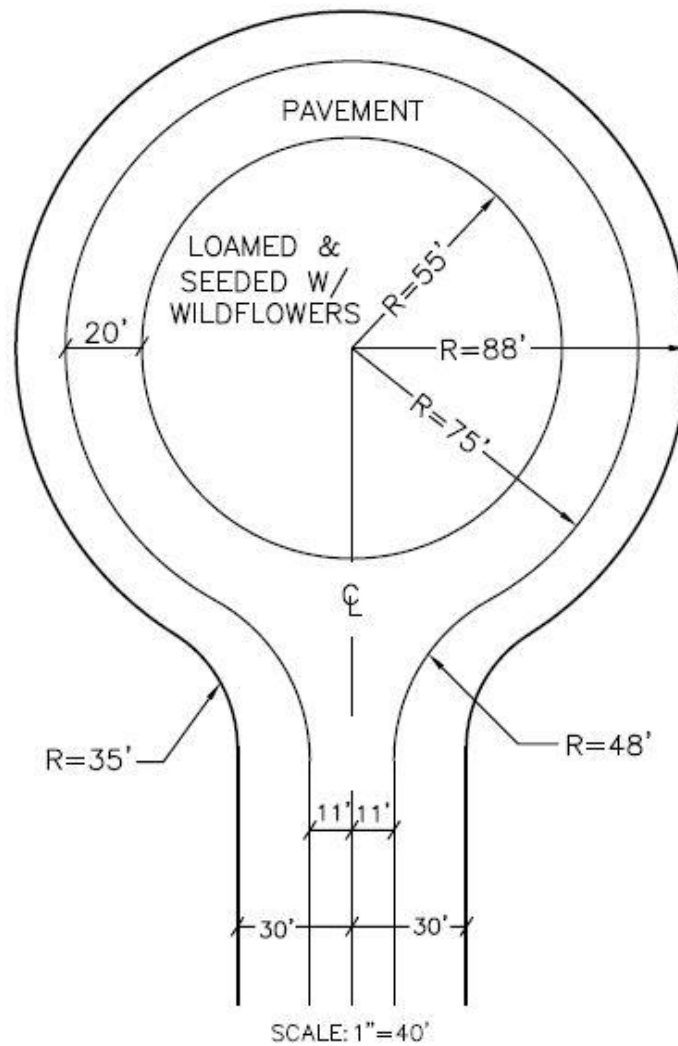
NOT TO SCALE

FIGURE B – TYPICAL DETAIL PAVED TURNAROUND



**ADDENDUM A (continued)**

**FIGURE B – DETAIL PAVED CUL-DE-SAC**



NOTE:

1. 20' PAVEMENT IN CUL-DE-SAC CROWNED AT TYPICAL 1/2" / 1' WITH 4' GRAVEL SHOULDER ON BOTH SIDES.

CROSS SECTION NOT TO SCALE

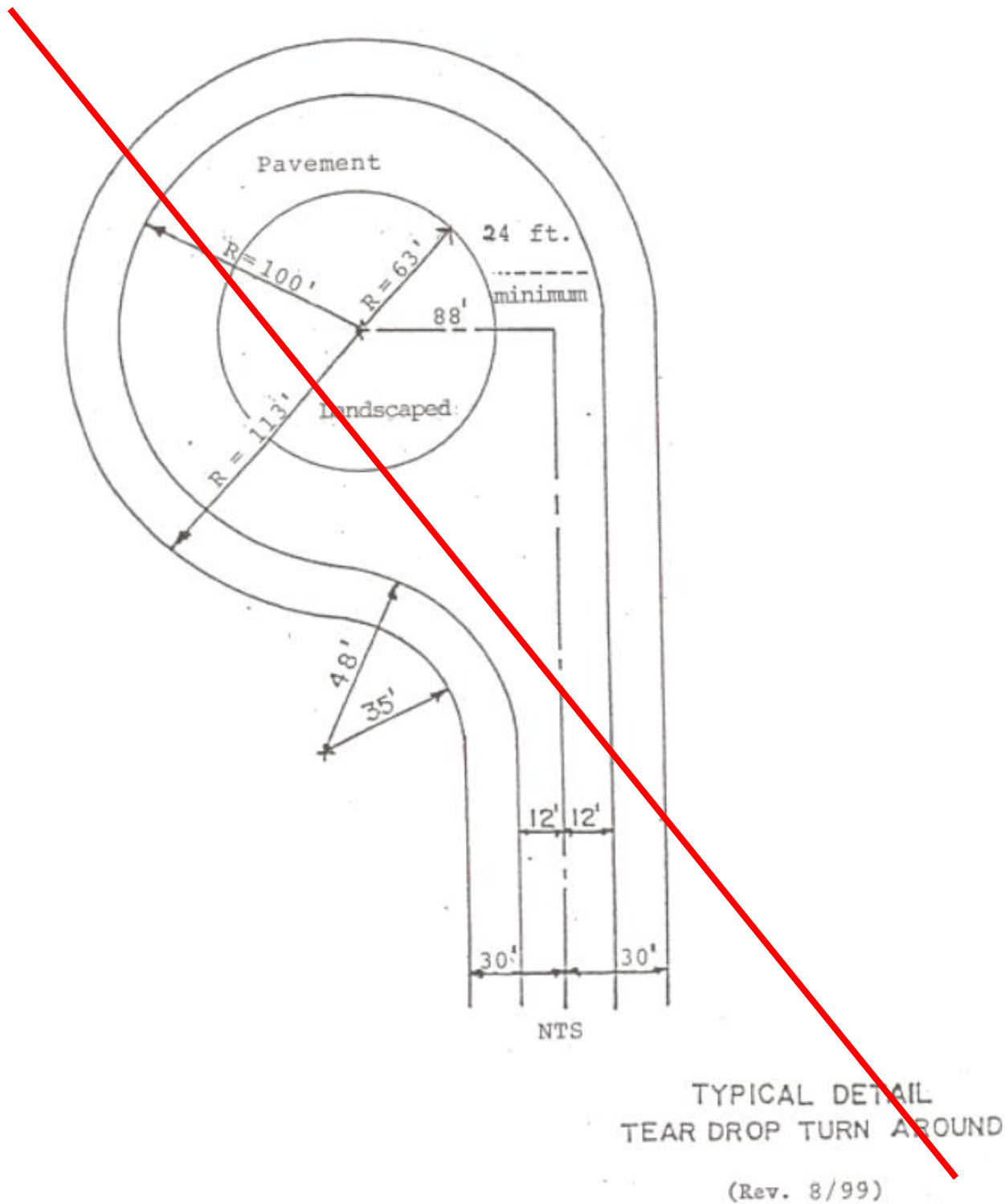
**TOWN OF STRATHAM**

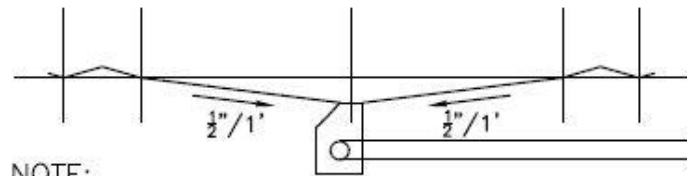
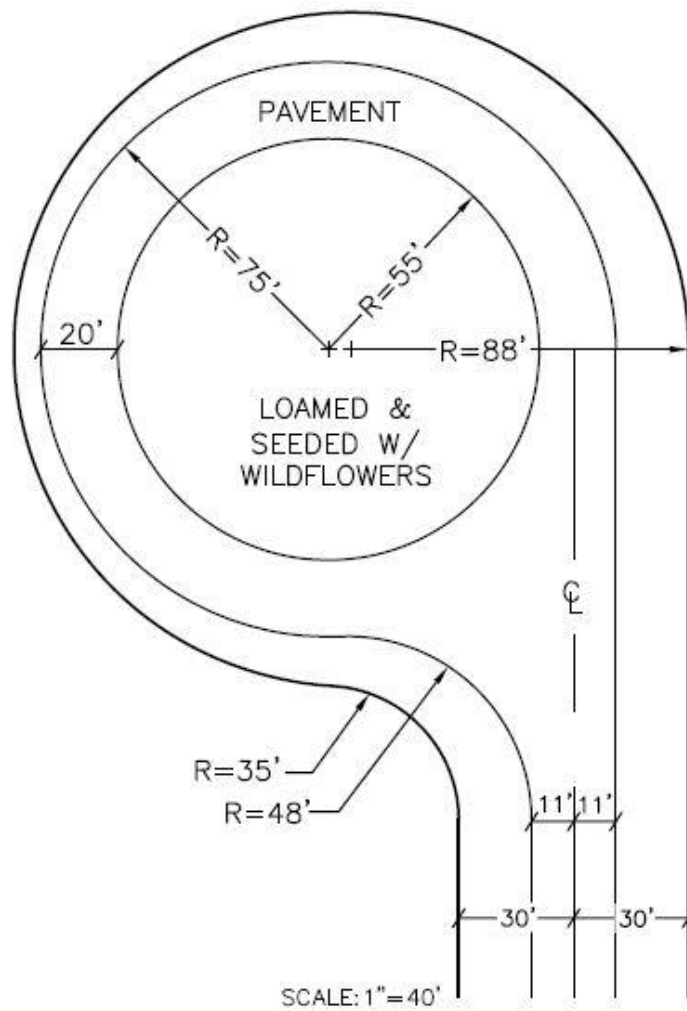
**CUL-DE-SAC**

NOT TO SCALE

ADDENDUM A (continued)

FIGURE C – TYPICAL DETAIL TEAR DROP TURNAROUND





NOTE:

1. 20' PAVEMENT IN CUL-DE-SAC CROWNED AT TYPICAL 1/4"/1' WITH 4' GRAVEL SHOULDER ON BOTH SIDES.

CROSS SECTION NOT TO SCALE

**TOWN OF STRATHAM**  
**TEAR DROP CUL-DE-SAC**

NOT TO SCALE

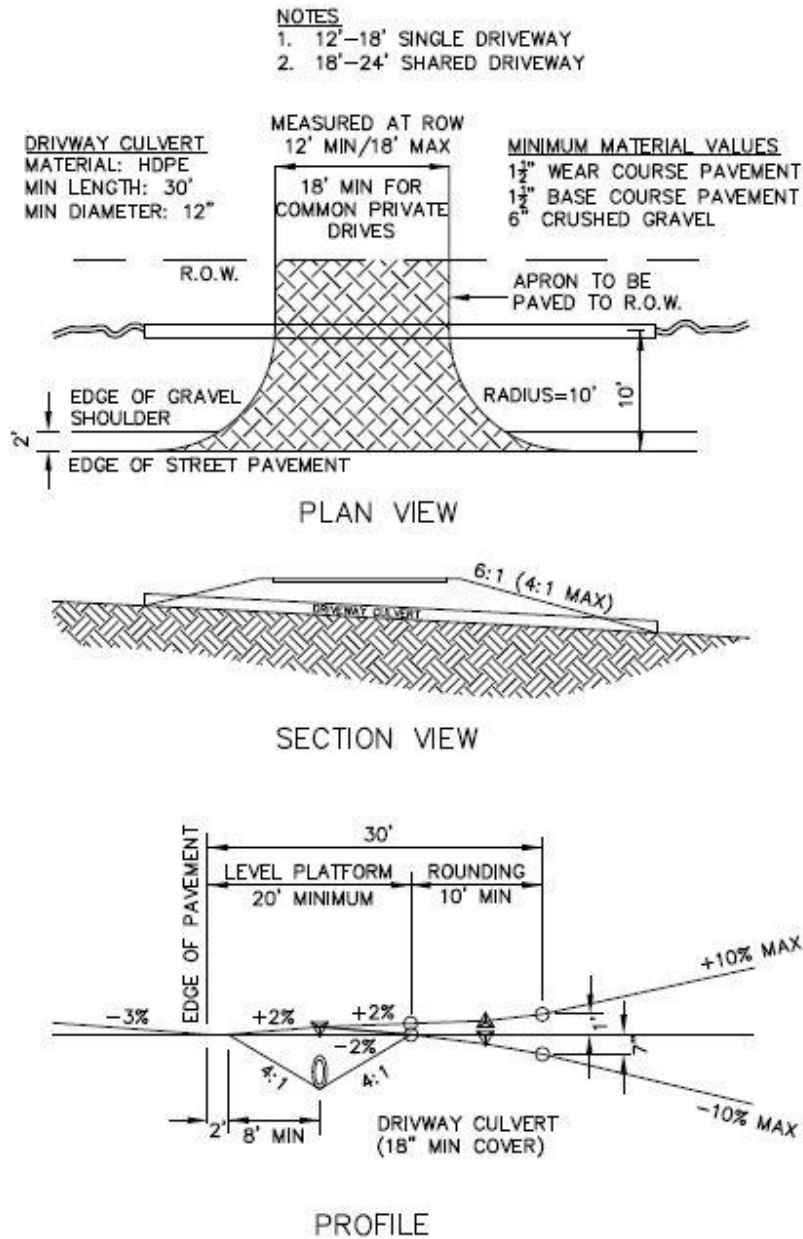
5      FIGURE D – TYPICAL DETAIL "T" TURNAROUND





## ADDENDUM A (continued)

### FIGURE ED – DRIVEWAY CROSS SECTION



### TOWN OF STRATHAM DRIVEWAY CROSS SECTION

NOT TO SCALE



Mr. Paine made a motion to rescind and replace Addendum A as presented this evening, including Scribner errors. Mr. Baskerville seconded the motion. Motion carried unanimously.

#### 4. Public Meeting

- a. Discussion of Home Occupation in Accessory Structures; Potential Zoning Amendment
- b. Subdivision/Site Plan Regulation Review; Zoning Amendment Discussion.

Mr. Austin requested the board make a decision of what they would prefer to discuss next. Mr. Austin explained 58 Portsmouth Avenue is the only application before the board on September 5, 2018 and a potential workshop on Subdivision/Site Plan or Zoning Amendments. Mr. Austin explained that two separate parties came into the planning department to propose barns which would be used as event centers. Mr. Austin stated this does not constitute a home occupation and it may need to be discussed regarding changing the zoning. Mr. Austin stated on Emery Lane there is a historic barn and the property owner was approached by a non-profit group that wanted to have a small get together for an event. Mr. Austin stated the town has endeavored to create a large gathering ordinance and if you fall within the large gathering ordinance, a site plan is submitted to the police chief, fire chief, and code official. Mr. Deschaine stated the recognition is that there are intermittent, compatible uses so long as their structure could occur in a residential neighborhood. Mr. Austin questioned if the board has any interest in pursuing language that would allow home occupations to occur in accessory structures, with the parameters to be discussed in more detail. Mr. Austin explained he understood the Heritage Commission is encouraging a zoning amendment that would allow adaptive reuse of historic properties on Portsmouth Avenue with the recognition that traditional single family's are not moving in because they do not want their kids playing on Portsmouth Avenue so houses are abandoned, neglected, etc. so a discussion of a home occupation "on steroids" what would not be full on commercial, but might extend these parameters on Portsmouth Avenue with a residential character that now includes 30,000 vehicle trips a day. Ms. Lawrence stated this appears to be a back-door to attempt to change Portsmouth Avenue from an R/A. Mr. Paine stated this sounds commercial. Ms. Lawrence explained, from a legal perspective, it appears to be an attempt to shoehorn this into a home occupation definition so the R/A restriction can be bypassed. Mr. Austin stated years ago it was suggested to rezone 800 ft. deep off of Portsmouth Avenue to Greenland and the town turned it down. Mr. Canada stated clarification needs to be done on this issue. Mr. Austin asked if the board agreed with a home occupation being only in an accessory structure. The board stated they did not.

Mr. Austin stated the second set of residents that came in has a property, largely in conservation easement, and has a large significant structure on it. These residents are not proposing an event center and Mr. Austin is unsure if they can do what they are proposing under this interpretation and it does not cross of the current thresholds other than the 25% of the square footage of the residence. The proposal is all agriculturally and educationally based. Mr. Austin asked the board they're thought on this proposal being only in the accessory provided it is based on the 25% of the home in order to fall under the home

65 occupation. Mr. Baskerville stated that at the September 5, 2018 meeting is to have a  
66 discussion of what zoning amendments to be reviewed.  
67

68 **5. Adjournment.**  
69

70 Mr. Canada made a motion to adjourn the meeting at 8:47 pm. Mr. Roseen seconded the  
71 motion. Motion carried unanimously.

DRAFT