

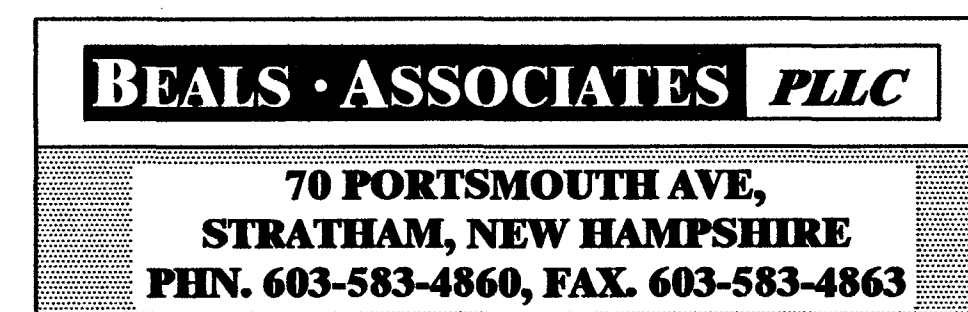
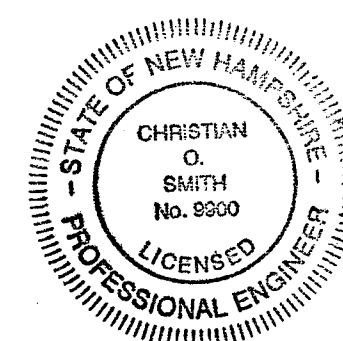
PROPOSED SITE PLAN

149 & 151 PORTSMOUTH AVE

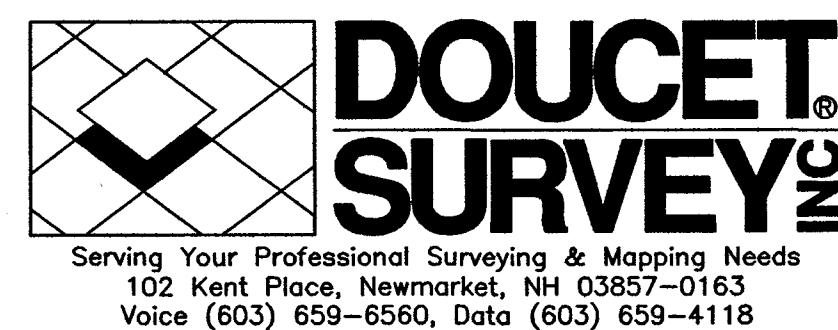
STRATHAM, NH

NOT FOR CONSTRUCTION

CIVIL ENGINEERS:



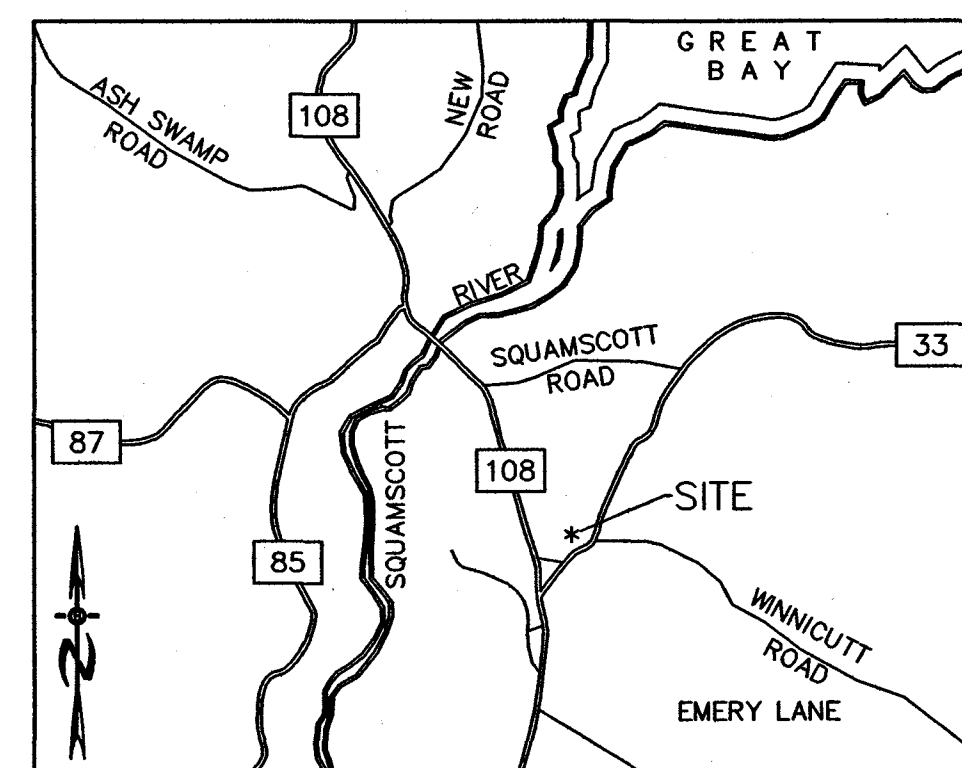
LAND SURVEYORS:



WETLAND / SOIL
CONSULTANT:

GOVE ENVIRONMENTAL SERVICES INC.
8 CONTINENTAL DRIVE,
BLDG 2 UNIT H
EXETER, NH 03833
1-603-778-0644

LOCATION MAP



INDEX

- TITLE SHEET
- 1-2 EXISTING CONDITONS PLAN2
- 3 DEMOLITION / EROSION CONTROL PLAN
- 4 SITE PLAN
- 5 GRADING, DRAINAGE & UTILITY PLAN
- 6 PARKING & LIGHTING PLAN
- 7 LANDSCAPING
- 8 HIGHWAY ACCESS PLAN
- 9 CONSTRUCTION DETAILS
- 10 EROSION CONTROL DETAILS

RECORD OWNER/APPLICANT

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

PLAN SET LEGEND

5/8" REBAR	●	PROPOSED LIGHT POLE	⦿
DRILL HOLE	○	PROPOSED WALL LIGHT	⦿
CONC. BOUND	□	PROPOSED PARKING COUNT	③
UTILITY POLE	⦿	OVERHEAD ELEC. LINE	—x—
DRAIN MANHOLE	⊗	FENCING	—D—D—
EXISTING LIGHT POLE	⦿	DRAINAGE LINE	—D—D—
EXISTING CATCH BASIN	⊗	TREE LINE	—wavy—
PROPOSED CATCH BASIN	⊗	ABUT. PROPERTY LINES	—dashed—
PINES, ETC.	⊗	EXIST. PROPERTY LINES	—dashed—
MAPLES, ETC.	⊗	BUILDING SETBACK LINES	—dashed—
EXIST. SPOT GRADE	96.69	EXIST. CONTOUR	—100—
PROP. SPOT GRADE	96.69	PROP. CONTOUR	—100—
DOUBLE POST SIGN	⦿	SOIL LINES	—dotted—
SINGLE POST SIGN	⦿		

	REVISIONS:	DATE:
1	REVISED PER TRC RECOMMENDATIONS	3/1/18
2	REVISED PER PLANNING BOARD	4/2/18
3		
4		
5		

NH-1066 PROPOSED SITE PLAN ISSUED APRIL 2018

A hand-drawn location map showing a network of roads and a river. The Squamscott River flows from the top center towards the bottom. Ash Swamp Road branches off to the northwest. New Road branches off to the northeast towards Great Bay. Squamscott Road runs horizontally across the middle. Winnicutt Road branches off to the southeast. Emery Lane branches off to the south. A road labeled 87 runs horizontally from the left. A road labeled 85 branches off from the 87 road and runs vertically. A road labeled 108 branches off from the 85 road and runs vertically. Another road labeled 108 branches off from the Squamscott River and runs vertically. A road labeled 33 runs horizontally from the right. A red dot on the 108 road is labeled SITE.

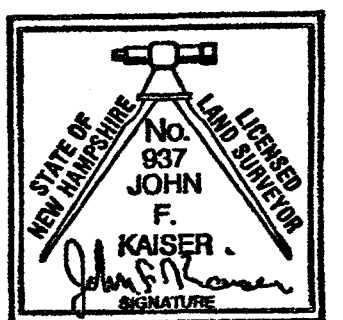
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT	LINE BEARING	DISTANCE
C1	862.30'	59.59'	59.57'	S 57°43'05" W	357.33'	29.80'	L1 S 59°41'46" W	8.04'
C2	922.00'	157.28'	157.09'	S 64°34'59" W	946'26"	78.83'	L2 S 50°23'54" W	54.73'
C3	616.90'	13.48'	13.48'	S 49°48'10" W	115'07"	6.71'	L3 N 16°04'54" E	264.90'
C4	862.30'	80.34'	80.34'	S 53°04'06" W	520'25"	40.24'	L4 S 82°01'29" E	101.78'
C5	616.90'	298.83'	295.92'	S 35°15'58" W	2745'16"	152.41'	L5 S 17°16'32" E	7.00'
C8	616.90'	57.15'	57.13'	S 18°44'07" W	518'27"	28.59'		

I certify that this survey plan is not a subdivision pursuant to this title (NHRSA Title LXIV) and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

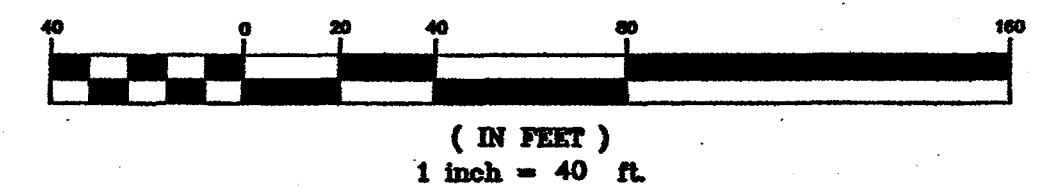
I certify that this survey and plan were prepared by me or by those under my direct supervision and falls under the Urban Surveying Code of the MHC and the Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

John F. Hansen LLS #937
1/30/18 DATE

The certifications shown hereon are intended to meet registry of deed requirements and are not a certification to title or ownership of property shown. Owners of adjoining properties are according to current town assessors records.

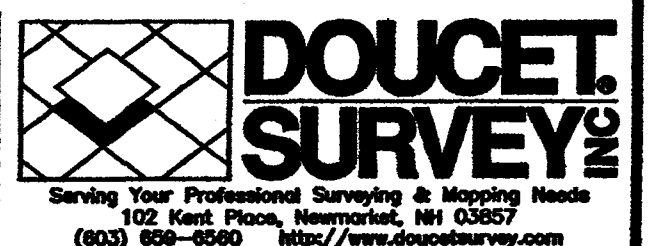


GRAPHIC SCALE



**EXISTING CONDITIONS PLAN
FOR
PERLOWSKI PROPERTIES, LLC
149 & 151 PORTSMOUTH AVENUE
STRATHAM, NEW HAMPSHIRE**

DRAWN BY: E.J.S.	DATE: JAN. 30, 2018
CHECKED BY: J.F.K.	DRAWING NO.: 3681B
JOB NO.: 3681	SHEET 1 of 2















FILE NAME: \\PROJECTS\3001 Outbox\0000\300108 (2018 URGENT).doc LOCAL NAME: 3001A (C 22234 (SHE 1) PLATED Wednesday, January 31, 2018 - 2:00pm

LEGEND

	UTILITY POLE & GUY WIRE
	UTILITY POLE W/ LIGHT
	LIGHT POLE
	AC UNIT
	CONDUIT
	MAILBOX
	VENT PIPE
	SIGN
	GRANITE BOUND FOUND
	DRILL HOLE FOUND
	IRON PIPE/ROD FOUND
	POST
	ELECTRIC BOX
	FLAG POLE
	ROOF DRAIN
	CATCH BASIN
	TELEPHONE MANHOLE
	CLEANOUT
	SEWER MANHOLE
	BOULDER
	JURISDICTIONAL WETLAND SYMBOL
	BUSH/SHRUB
	CONIFEROUS TREE
	DECIDUOUS TREE
	CONCRETE
	LANDSCAPED AREA
	CRUSHED STONE
	HANDICAP PARKING SPACE
	BOLLARD
	TRAFFIC FLOW DIRECTION ARROW
	DRAINAGE FLOW DIRECTION ARROW
	TEST PIT
	WELL
	DRILL HOLE SET
	TYPICAL RETAINING
	FINISHED FLOOR
	EDGE OF PAVEMENT
	SINGLE WHITE LINE
	SINGLE YELLOW LINE
	DOUBLE YELLOW LINE
	ELECTRIC METER
	ELECTRIC BOX
	CONCRETE
	VERTICAL GRANITE CURB
	SLOPED GRANITE CURB
	CONDUIT
	OIL FILL CAP

DHS
TYP.
RET.
FF
EOP
SWL
SGL
DYL
EM
EBOX
CONC.
VGC
SGC
COND.
BEARING

THIS SOIL MAP WAS PREPARED BY A PROFESSIONAL SOIL SCIENTIST AND MEETS THE TECHNICAL STANDARDS OF THE SSSNIE PUBLICATION NO. 1, HIGH INTENSITY SOIL MAPS FOR NH, APRIL 2008. PARCEL IS LOCATED 151 PORTSMOUTH AVENUE, STRATHAM, NH, AND IS APPROXIMATELY 3 ACRES IN SIZE. SOILS WERE IDENTIFIED USING THE KEY TO SOIL TYPES. SOIL MAPPING WAS COMPLETED ON 1-17-18 BY JAMES GOVE, CSS # 004. FIELD WORK WAS CONDUCTED PRIOR TO THE MAP CREATION

SOILS LEGEND		DESCRIPTION	HSG
SOIL MAP UNIT (SSS)	(HSS)		
289	361	Udorthents, smoothed, MWD	B
448	323	Scituate, MWD	C
943	443	Eldridge Variant, SWPD	C
38	343	Eldridge, MWD	C
538	543	Squamscott, PD	C
134	643	Meybld, VPD	D

NOTE:
ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC
FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK
WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE
SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE
LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.

SIGN TABLE
S1-DIRECTIONAL ARROW
S2-NO LEFT TURN
S3-DO NOT ENTER
S4-KEEP RIGHT
S5-EXIT ONLY
S6-ENTER ONLY
S7-OLDE TOWNE HALL ANTIQUES
S8-STRATHAM VILLAGE MARKET
S9-NO PARKING
S10-HANDICAP PARKING
S11-DIRECTORY SIGN
S12-FORMICHELLI'S PIZZA
S13-SCHOOL BUS STOP AHEAD
S14-STOP HERE ON RED
S15-TRAFFIC CIRCLE AHEAD

FINISHED FLOOR TABLE	
FF1=53.4'	(ON WOODEN THRESHOLD)
FF2=56.2'	(ON WOODEN THRESHOLD)
FF3=56.4'	(ON WOOD)
FF4=55.5'	(ON CONCRETE)
FF5=56.4'	(ON TILE)
FF6=52.0'	(ON METAL THRESHOLD)

ADDITIONAL ABUTTERS

TAX MAP 17, LOT 41-1, 41-2 & 41-3
FORMA REALTY II, LLC
18 CONGRESS ST.
PORTSMOUTH, NH 03801

TAX MAP 17, LOT 41-4
JEDI REALTY, LLC
157 PORTSMOUTH AVE. SUITE 4
STRATHAM, NH 03885
R.C.R.D. BOOK 5612, PAGE 941

TAX MAP 17, LOT 115
COLLEEN LAKE
156 PORTSMOUTH AVENUE
STRATHAM, NH 03885
R.C.R.D. BOOK 3564, PAGE 1580

TAX MAP 17, LOT 116
JOHN & SUZANNE SCHEEL
4 TALL PINES DR
STRATHAM, NH 03885
R.C.R.D. BOOK 4425, PAGE 2909

TAX MAP 17, LOT 117
LESHAS, LLC
24 PINEWOOD DRIVE
STRATHAM, NH 03885
R.C.R.D. BOOK 3370, PAGE 1652

TAX MAP 17, LOT 118
BRADLEY JONES
PO BOX 175
STRATHAM, NH 03885
R.C.R.D. BOOK 3102, PAGE 1292

DRAINAGE STRUCTURES

CB #1023
RIM ELEV.=41.9'
(A) 15" ROP INV.=37.4'
(B) 12" ROP INV.=38.1'
(C) 15" ROP INV.=37.7'
CB #1131
RIM ELEV.=42.9'
12" ROP INV.=38.9'
CB #1204
RIM ELEV.=50.5'
(A) 16" ROP INV.=44.5'
(B) 12" ROP INV.=44.8'
(C) 6" CWP INV.=45.6'
CB #1280
RIM ELEV.=51.1'
(A) 12" ROP INV.=45.7'
(B) 12" ROP INV.=46.1'
CB #1450
RIM ELEV.=53.5'
12" ROP INV.=48.0'
CB #1594
RIM ELEV.=56.7'
(A) 15" ROP INV.=52.1'
(B) 15" HOPE INV.=52.1'
(C) 6" PWC INV.=53.9'
(D) 12" CWP INV.=53.3'
CB #1606
RIM ELEV.=57.8'
12" CWP INV.=55.8'
CB #2891
RIM ELEV.=48.8'
6" HOPE INV.=47.2'
CB #3014
RIM ELEV.=51.4'
(A) 15" ROP INV.=48.2'
(B) 15" ROP INV.=48.9'

SEWER STRUCTURES

SMH #2667
RIM ELEV.=48.1'
SEPTIC TANK

SMH #2828
RIM ELEV.=49.6'
SEPTIC TANK

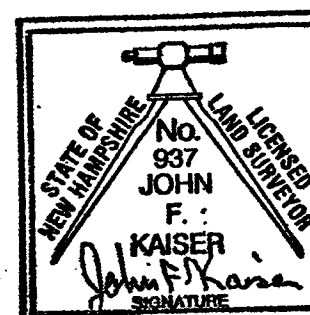
SMH #3070
RIM ELEV.=53.7'
SEPTIC TANK

I certify that this survey plat is not a subdivision pursuant to this title (NHRSA Title LXIV) and that the lines of streets and ways shown are those of public or private streets or ways already established and that no new ways are shown.

I certify that this survey and plan were prepared by me or by those under my direct supervision and falls under the Urban Survey Classification of the NH Code of Administrative Rules of the Board of Licensure for Land Surveyors. I certify that this survey was made on the ground and is correct to the best of my knowledge and belief. Random traverse survey by Total Station, with a precision greater than 1:15,000.

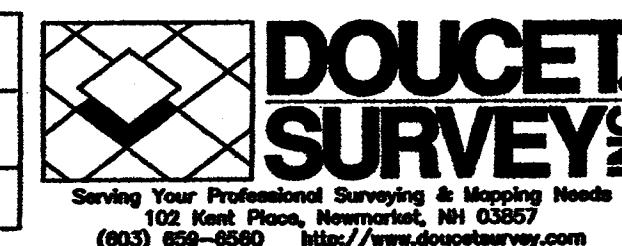
John F. Kaiser L.L.S. #937
1/30/18 DATE

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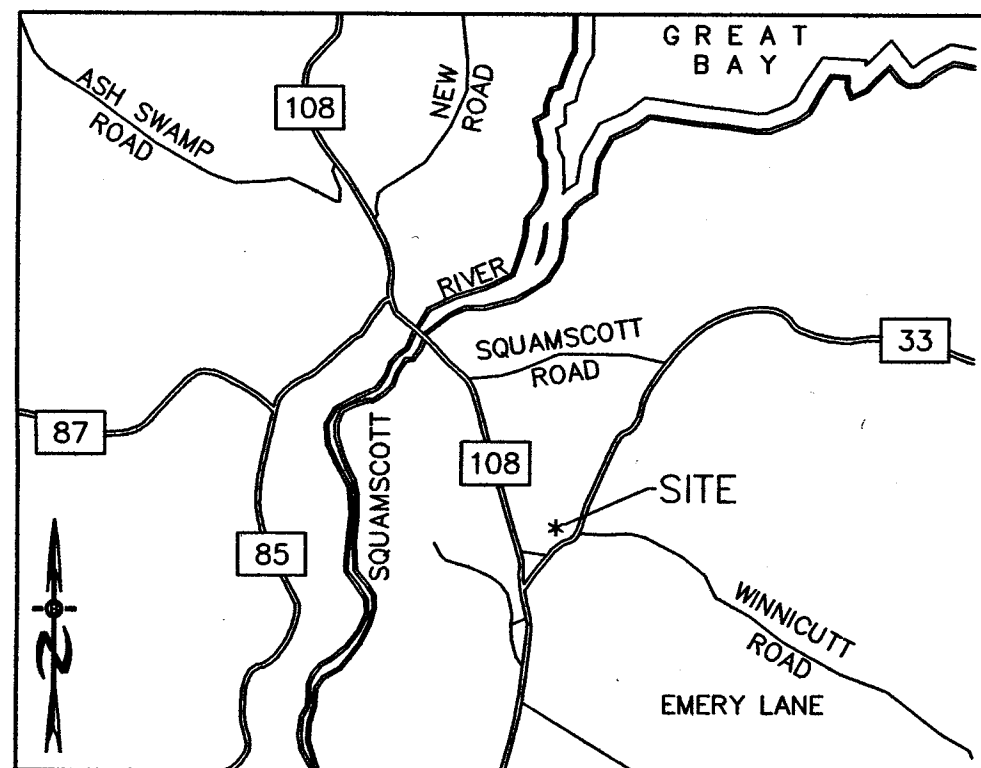


**EXISTING CONDITIONS PLAN
FOR
PERLOWSKI PROPERTIES, LLC
149 & 151 PORTSMOUTH AVENUE
STRATHAM, NEW HAMPSHIRE**

DRAWN BY: <i>E.J.S.</i>	DATE: <i>JAN. 30, 2018</i>
CHECKED BY: <i>J.F.K.</i>	DRAWING NO.: <i>3681B</i>
JOB NO.: <i>3681</i>	SHEET <i>2</i> OF <i>2</i>



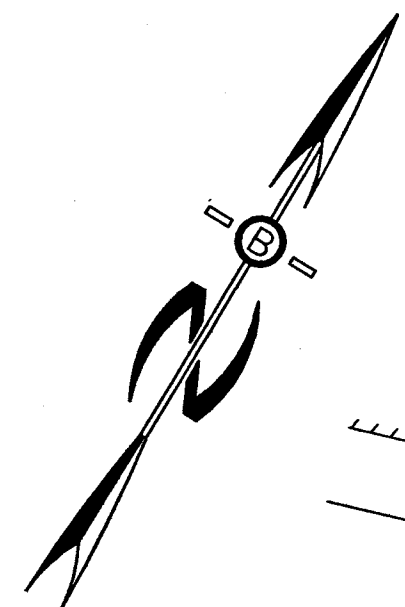
NOTE:
ALL ELECTRIC, GAS, TEL. WATER, SEWER AND DRAIN SERVICES ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE UNDERTAKEN ON THIS SITE USING THIS PLAN TO LOCATE THE ABOVE SERVICES. CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.



LOCATION MAP

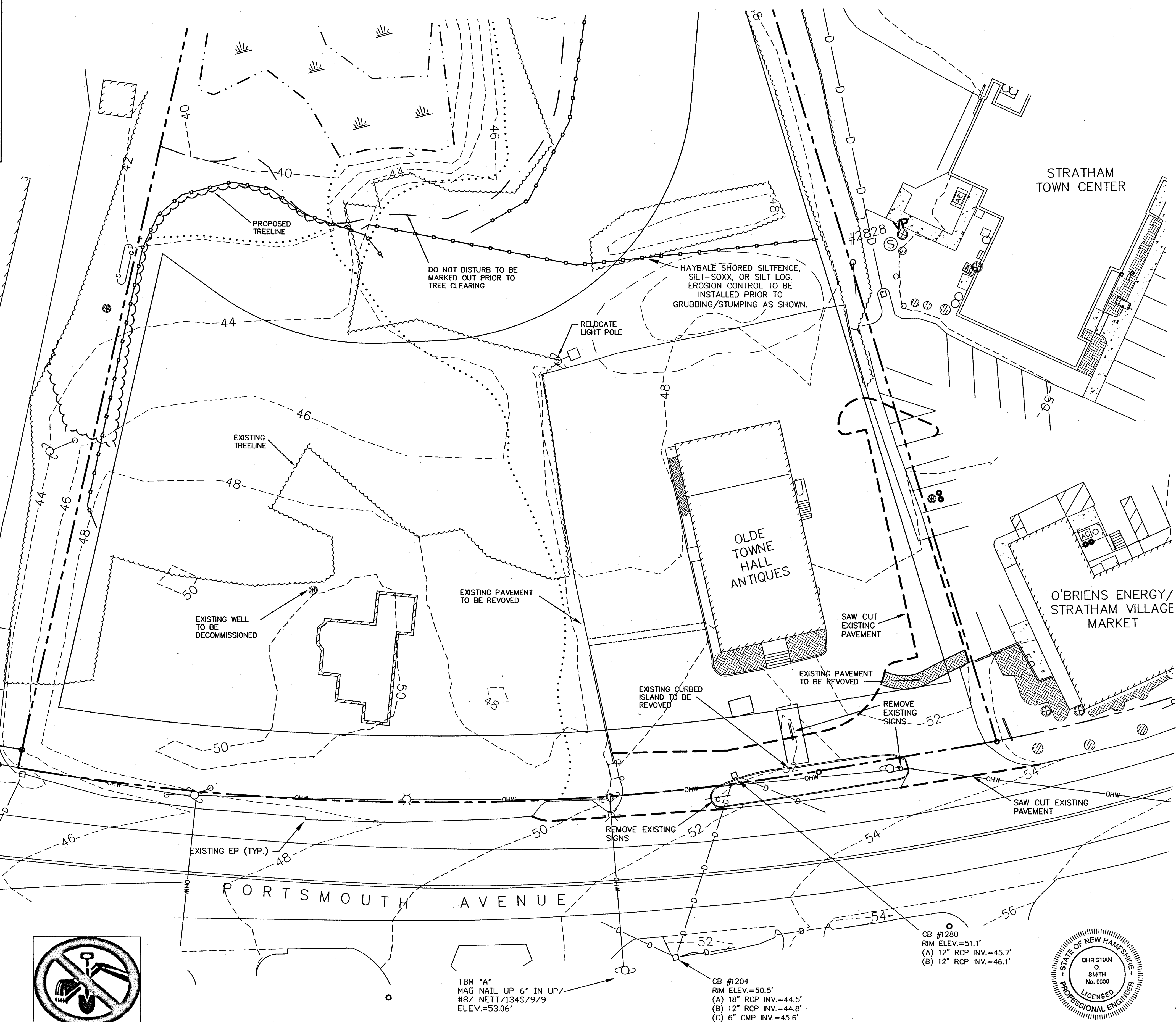
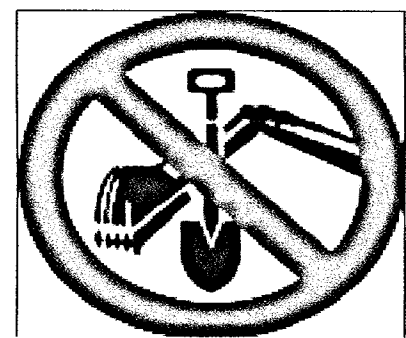
LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- SPOT GRADE
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE



UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER BEALS ASSOCIATES, NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION

WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).



PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES SHALL BE REMOVED AS NECESSARY TO FACILITATE CONSTRUCTION UNLESS OTHERWISE NOTED. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES COMPARED TO DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR REVIEW AND RESOLUTION. ANY CONTRADICTION BETWEEN ITEMS ON THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- ALL EXISTING STRUCTURES IN THE CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, UNLESS NOTED TO REMAIN ON THE SITE PLANS. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, OR AS SHOWN ON THE DESIGN PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- EROSION AND SEDIMENTATION CONTROLS ARE TO BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
- A TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES MAY BE REQUIRED PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL STUMPS AND DEBRIS ARE TO BE REMOVED FROM SITE.
- THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES.
- EXISTING ON SITE SEPTIC SYSTEMS TO BE ABANDONED OR REMOVED. IF REMOVED DISPOSE OF PER TOWN AND STATE REQUIREMENTS. NEW ON SITE SEPTIC SYSTEMS TO BE INSTALLED PER TOWN AND STATE APPROVED PLANS.
- DEMOLITION REQUIREMENTS: CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH THE ADJACENT AND OCCUPIED BUILDING AREAS, IN COMPLIANCE WITH THE GOVERNING LAWS. PRIME CONSIDERATION SHALL BE GIVEN TO THE SAFETY, PROTECTION AND CONVENIENCE OF THE PUBLIC AND OWNER'S PERSONNEL.
- LEAVE SITE IN CLEAN CONDITION.
- STUMP DISPOSAL TO BE OUTSIDE LIMITS OF PAVEMENT, DRAINAGE STRUCTURES, ETC.
- TEMPORARY EARTH MATERIAL STOCKPILES TO BE IN UPLAND AREAS AND COMPLETELY IMPOUNDED BY SILT FENCE/HAYBALE EROSION CONTROLS.
- THE LANDOWNER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.

GRAPHIC SCALE



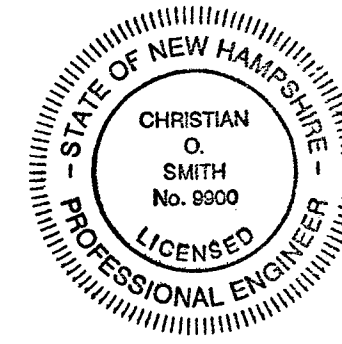
(IN FEET)
1 inch = 20 ft.

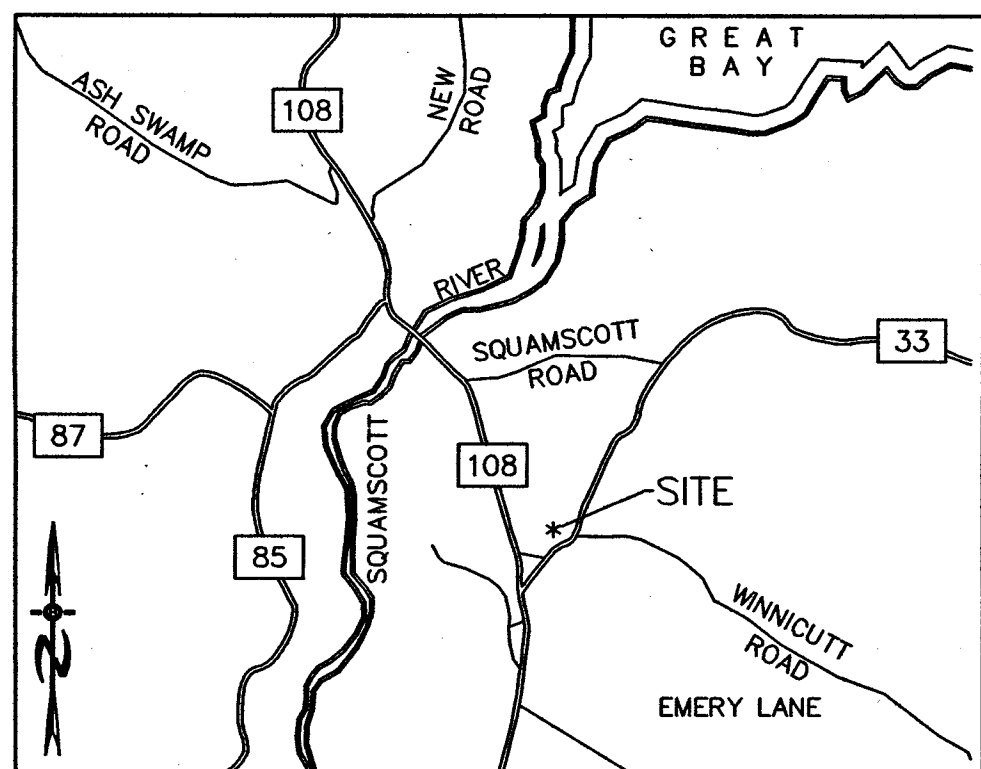
REVISED PER TRC RECOMMENDATIONS	3/1/18
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
REVISIONS:	DATE:

DEMOLITION PLAN

RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: 1"=20'
PROJ. NO: NH-1066	SHEET NO. 3 OF 10





LOCATION MAP

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- SPOT GRADE
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE

PARKING CALCULATIONS:
TOTAL NUMBER OF UNITS = 36

UNIT # 1
2 - 2 BEDROOM APARTMENTS = 4 SPACES
2,496 S.F. (OFFICE SPACE) 3 SPACES/1,000 S.F. = 8

UNIT # 2
4 - 2 BEDROOM APARTMENTS = 8 SPACES
4 - VISITOR SPACES

UNIT # 3 (OLD TOWN HALL)
4 - 2 BEDROOM UNITS = 8 SPACES
4 - VISITOR SPACES
TOTAL SPACES PROVIDED = 36

PROTECTIVE WELL RADIUS
SEE RECORDED EASEMENT
R.C.R.D. BK 5891, PG 2058

WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES (G.E.S.) IN ACCORDANCE WITH THE 1987 CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL.
2. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY G.E.S. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 2 NEWPCC WETLANDS WORK GROUP (JULY 1999).
3. DOMINANCE OF WETLANDS VEGETATION WAS ASSESSED BY G.E.S. UTILIZING THE NATIONAL LIST OF PLANT SPECIES FOR NEW HAMPSHIRE, DATED MAY 1998.
4. WETLANDS WERE CLASSIFIED BY G.E.S. ACCORDING TO THE CLASSIFICATION OF WETLANDS AND DEEP WATER HABITATS OF THE UNITED STATES (USEWS, 1979).

PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

KEY TO SOIL TYPES

HIGH INTENSITY SOIL SURVEYS UTILIZE A FIVE-PART CLASSIFICATION TO IDENTIFY SOIL TYPES. SYMBOLS A-E READ FROM LEFT TO RIGHT IN THE CLASSIFICATION.

SYMBOL A: DRAINAGE CLASS

- 1- EXCESSIVELY DRAINED
- 2- WELL DRAINED
- 3- MODERATELY WELL DRAINED
- 4- SOMEWHAT POORLY DRAINED
- 5- POORLY DRAINED
- 6- VERY POORLY DRAINED

SYMBOL B: PARENT MATERIAL

- 1- GLACIOFLUVIAL DEPOSITS (OUTWASH/TERRACES)
- 2- GLACIAL TILL
- 3- VERY FINE SAND AND SILT DEPOSITS
- 4- LOAMY/SANDY OVER SILT/CLAY DEPOSITS
- 5- SILT AND CLAY DEPOSITS
- 6- EXCAVATED, REGRADED, OR FILLED
- 7- ALLUVIAL DEPOSITS
- 8- ORGANIC MATERIALS - FRESHWATER
- 9- ORGANIC MATERIALS - TIDAL MARSH

SYMBOL C: RESTRICTIVE FEATURES

- 1- NONE
- 2- BOULDER
- 3- MINERAL RESTRICTIVE LAYER WITHIN 40 INCHES OF SOIL SURFACE
- 4- BEDROCK PRESENT WITHIN 20 INCHES OF SOIL SURFACE
- 5- SUBJECT TO FLOODING (FLOODPLAIN)
- 6- DOES NOT MEET FILL STANDARDS (SEE PUBLICATION)
- 7- BEDROCK PRESENT 20-40 INCHES BELOW SOIL SURFACE
- 8- BEDROCK DEPTH VARIABLE (GENERALLY WITHIN 40 INCHES OF SOIL SURFACE)

SYMBOL D: SLOPE CLASS

- B- 0% TO 8%
- C- 8% TO 15%
- D- 15% TO 25%
- E- 15% TO 25%
- F- 35%+

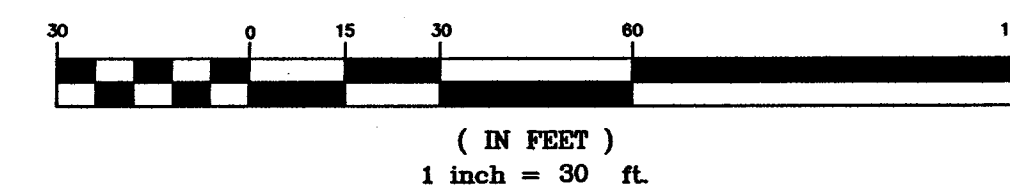
SYMBOL E: HIGH INTENSITY SOIL MAP IDENTIFIER

- H- MAP MEETS HIGH INTENSITY SOIL MAPPING STANDARDS
- P- MAP IS FOR PRELIMINARY PLANNING ONLY AND DOES NOT MEET STANDARDS

THIS SOIL MAP WAS PREPARED BY A PROFESSIONAL SOIL SCIENTIST AND MEETS THE TECHNICAL STANDARDS OF THE SSSNNE PUBLICATION NO. 1, HIGH INTENSITY SOIL MAPS FOR NH, APRIL 2008. PARCEL IS LOCATED 151 PORTSMOUTH AVENUE, STRATHAM, NH, AND IS APPROXIMATELY 3 ACRES IN SIZE. SOILS WERE IDENTIFIED USING THE KEY TO SOIL TYPES. SOIL MAPPING WAS COMPLETED ON 1-17-18 BY JAMES GOVE, CSS # 004. FIELD WORK WAS CONDUCTED PRIOR TO THE MAP CREATION.

SOILS LEGEND	SOIL MAP UNIT	DESCRIPTION	HSG
(SSS)	(HISS)		
299	361	Udorthents, smoothed, MWD	B
448	323	Scituate, MWD	C
943	443	Eldridge Variant, SWPD	C
38	343	Eldridge, MWD	C
538	543	Squamscott, PD	C
134	643	Maybid, VPD	D

GRAPHIC SCALE



REVISED PER TRC RECOMMENDATIONS	3/1/18
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
REVISIONS:	DATE:

SITE PLAN

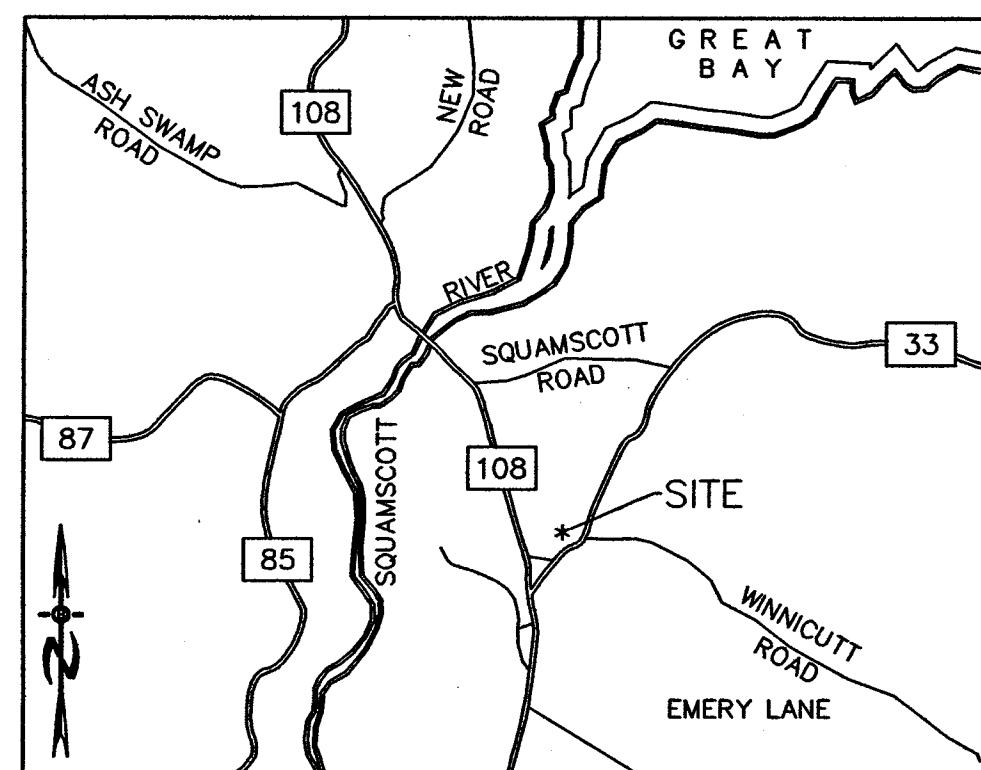
RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: 1"= 40'
PROJ. NO: NH-1066	SHEET NO. 4 OF 10

APPROVAL BLOCK

APPROVED TOWN OF STRATHAM PLANNING BOARD

CHAIRPERSON _____ DATE _____



LOCATION MAP

LEGEND

- UTILITY POLE
- TEST PIT W/ NO.
- SPOT GRADE
- STONE WALL
- TREE LINE
- EXISTING CONTOUR - 10'
- EXISTING CONTOUR - 2'
- WETLAND BOUNDARY
- SOILS BOUNDARY LINE
- BUILDING SETBACK LINE
- ABUTTING PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE

20' EASEMENT FOR FUTURE UTILITIES AND TOWN CENTER IMPROVEMENTS

BIORETENTION POND W/6" UD, SEE SHT. 6

PROPOSED LEACH FIELD, REFER TO SEPTIC PLAN

PROPOSED 5'x5' DUMPSTER (TO BE SCREENED)

4'x5' DEEP STONE DRAIN EDGE, TOP ELEV 53.0'

PROPOSED UNIT # 2

TOE 54.50

52x4

53x0

52x4

53x0

52x4

53x0

52x4

53x0

52x4

53x0

52x4

53x0

52x4

53x0

PVC SLEEVE FOR FUTURE ELECTRIC SERVICE

CB #1204 RIM ELEV.=50.5' (A) 18" RCP INV.=44.5' (B) 12" RCP INV.=44.8' (C) 6" CMP INV.=45.6'

CB #1280 RIM ELEV.=51.1' (A) 12" RCP INV.=45.7' (B) 12" RCP INV.=46.1'

10" CMP INV.=52.8' INV.=52.5'

HAYBALE SHORED SILTENCE, SILT-SOXX, OR SILT LOG. EROSION CONTROL TO BE INSTALLED PRIOR TO GRUBBING/STUMPING AS SHOWN.

CB 2 GRATE ELEV.=48.1' INV OUT 45.1' 12" HDPE, L=101' S = 0.005'/7' INV OUT 44.6'

CB 1 GRATE ELEV.=48.0' INV OUT 45.0' 12" HDPE, L=85' S = 0.005'/7' INV OUT 44.6'

STRATHAM TOWN CENTER

O'BRIENS ENERGY/ STRATHAM VILLAGE MARKET

DRAINAGE NOTES
1. ALL DRAINAGE STRUCTURE AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-TO THEM.
2. SEE DETAIL SHEETS FOR STANDARD CONSTRUCTION NOTES AND DETAILS.

GRAPHIC SCALE



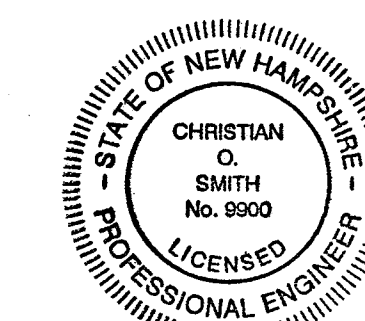
(IN FEET)
1 inch = 20 ft.

REVISED PER TRC RECOMMENDATIONS	3/1/18
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
REVISIONS:	DATE:

GRADING, DRAINAGE & UTILITY PLAN

RESIDENTIAL/COMMERCIAL DEVELOPMENT
149 & 151 PORTSMOUTH AVENUE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: 1"=20'
PROJ. NO: NH-1066	SHEET NO. 5 OF 10

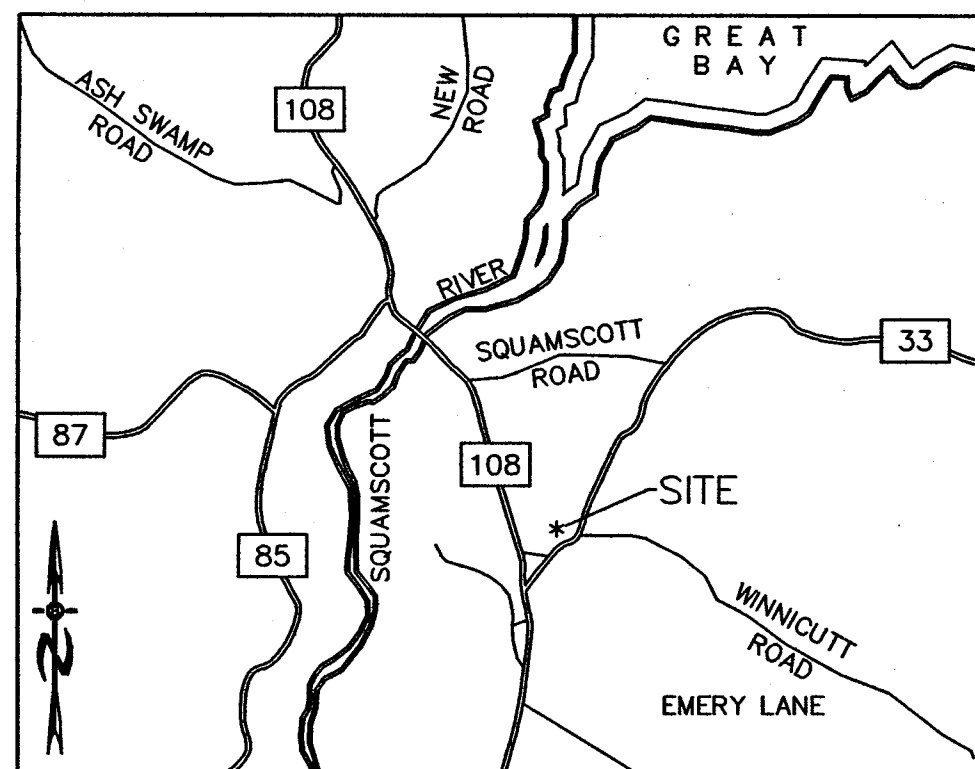


PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



LOCATION MAP

PARKING CALCULATIONS:
TOTAL NUMBER OF UNITS = 36

UNIT # 1
2 - 2 BEDROOM APARTMENTS = 4 SPACES
2,496 S.F. (OFFICE SPACE) 3 SPACES/1,000 S.F. = 8

UNIT # 2
4 - 2 BEDROOM APARTMENTS = 8 SPACES
4 - VISITOR SPACES

UNIT # 3 (OLD TOWN HALL)
4 - 2 BEDROOM UNITS = 8 SPACES
4 - VISITOR SPACES
TOTAL SPACES PROVIDED = 36

ZONING REQUIREMENTS

ZONE	IC
LOT AREA MIN MIXED USE	40000 SF
MIN. FRONTAGE	200 FT.
FRONT YARD	0-25 FT.
SIDE YARD	10 FT.
REAR YARD	10 FT.
WETLANDS:	
BUILDING SETBACK	50 FT. HYDRIC B
SEPTIC SETBACK	100 FT. HYDRIC A
	50 FT. HYDRIC B
	75 FT. HYDRIC A

PREPARED FOR:

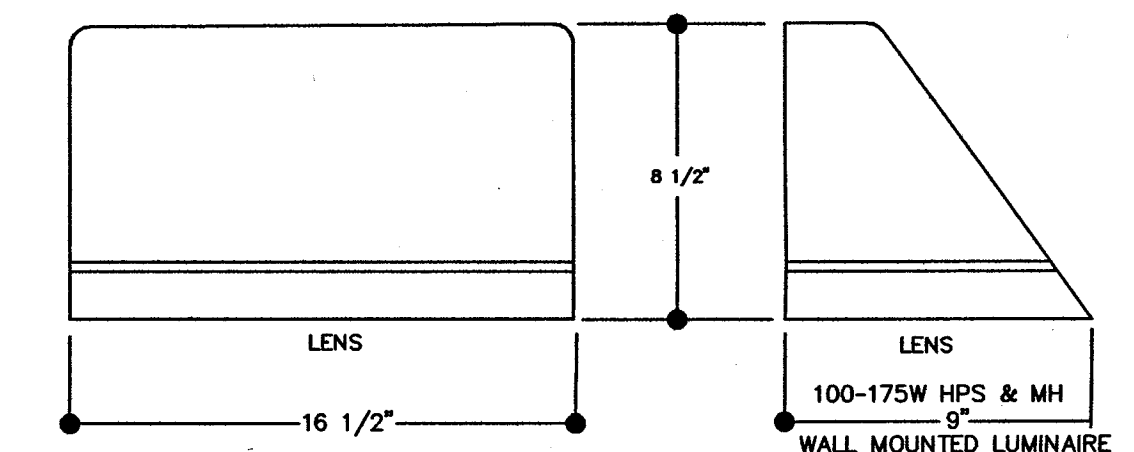
PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

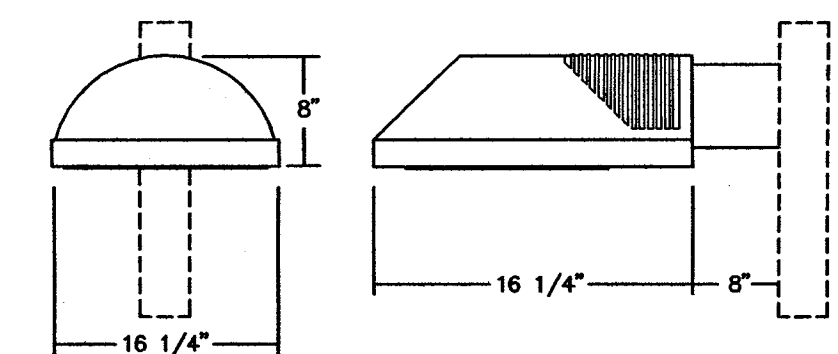
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

LIGHTING NOTES:

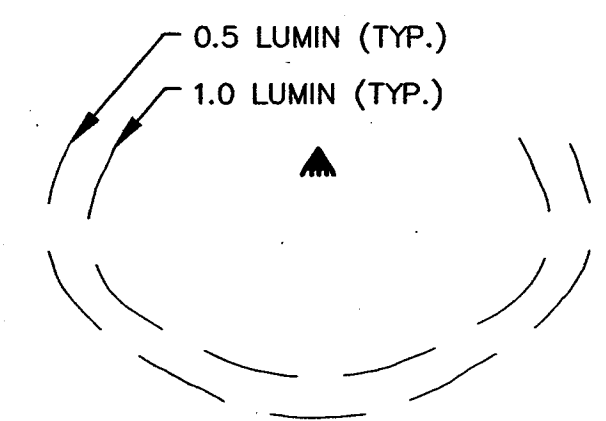
1. ALL OUTDOOR LIGHTING SHALL BE SO DIRECTED & SHIELDED THAT NO GLARE WILL SPILL OUT ONTO RESIDENTIALLY ZONED PROPERTIES.
2. AFTER 10:00 PM ONLY THAT AMOUNT OF LIGHT NECESSARY FOR THE SECURITY OF THE PREMISES SHALL BE PERMITTED.
3. LIGHTING IS TO BE DARK SKY COMPLIANT.



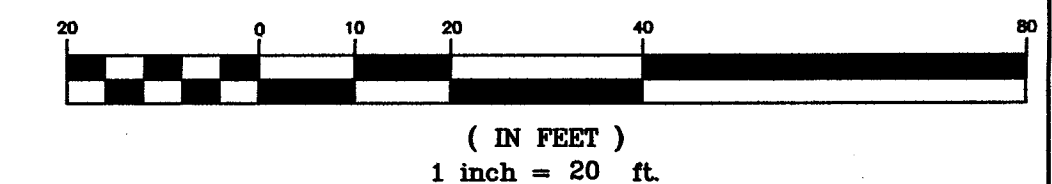
WALLPACK DETAIL



POLE LIGHT DETAIL



GRAPHIC SCALE



REVISED PER TRC RECOMMENDATIONS	3/1/18
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
REVISIONS:	DATE:

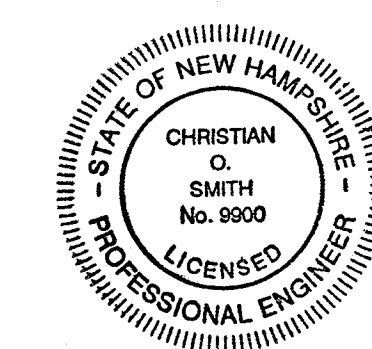
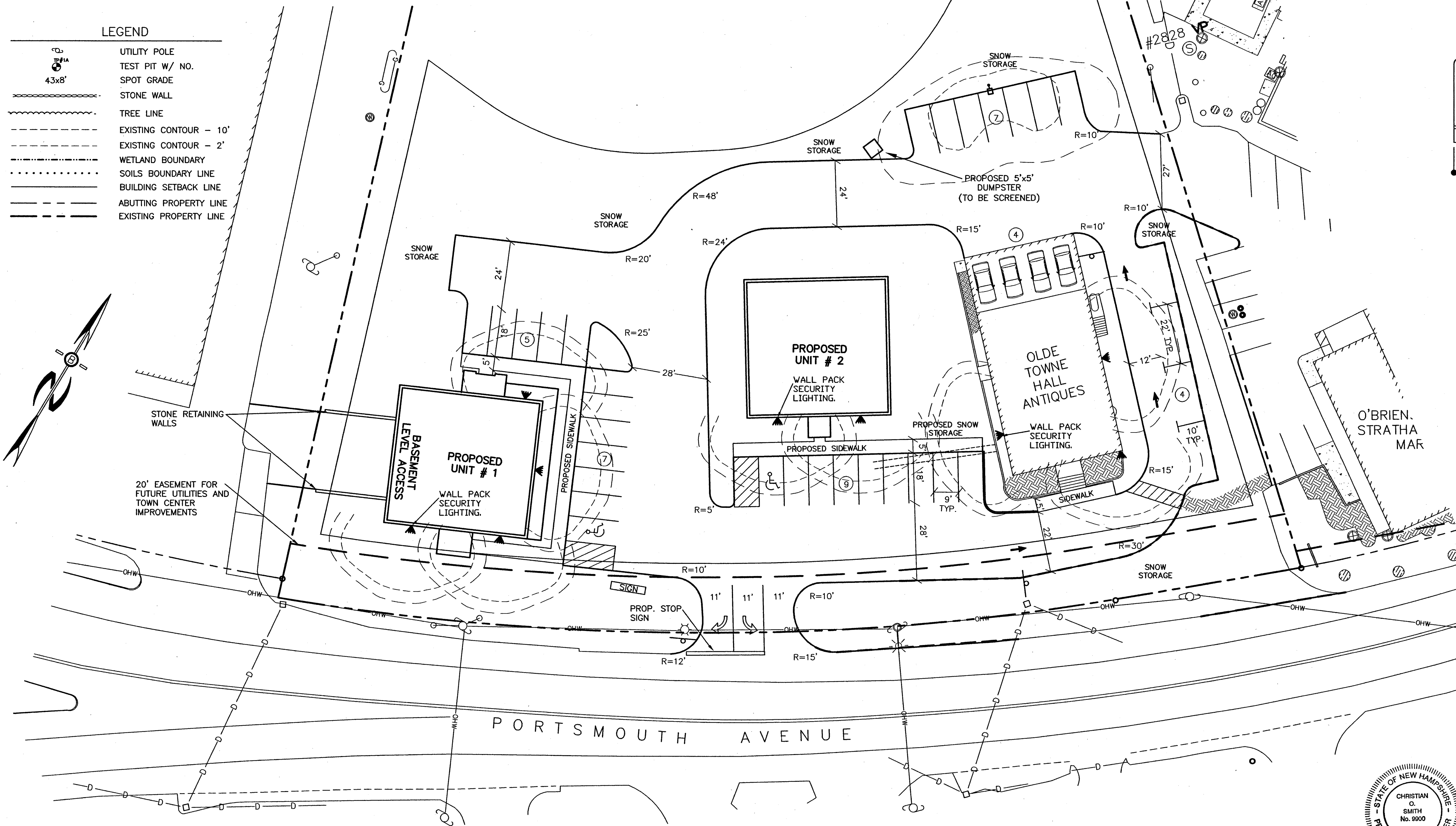
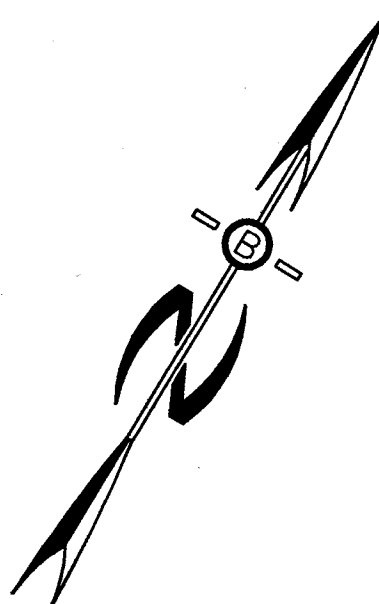
PARKING & LIGHTING PLAN

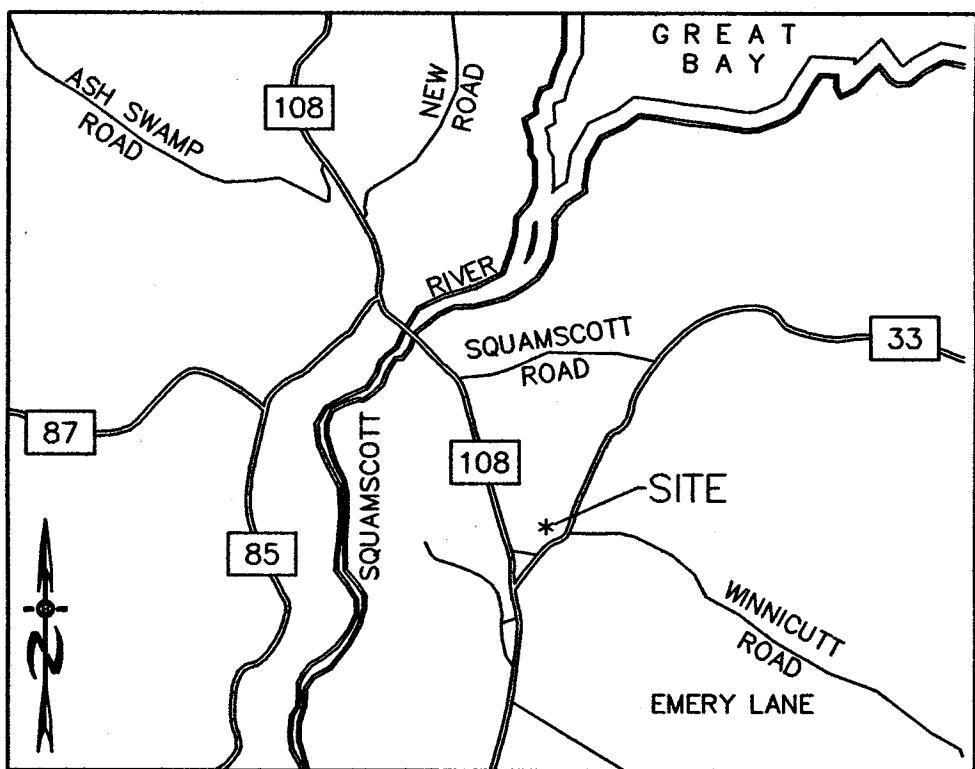
RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: 1" = 20'
PROJ. NO: NH-1066	SHEET NO. 6 OF 10

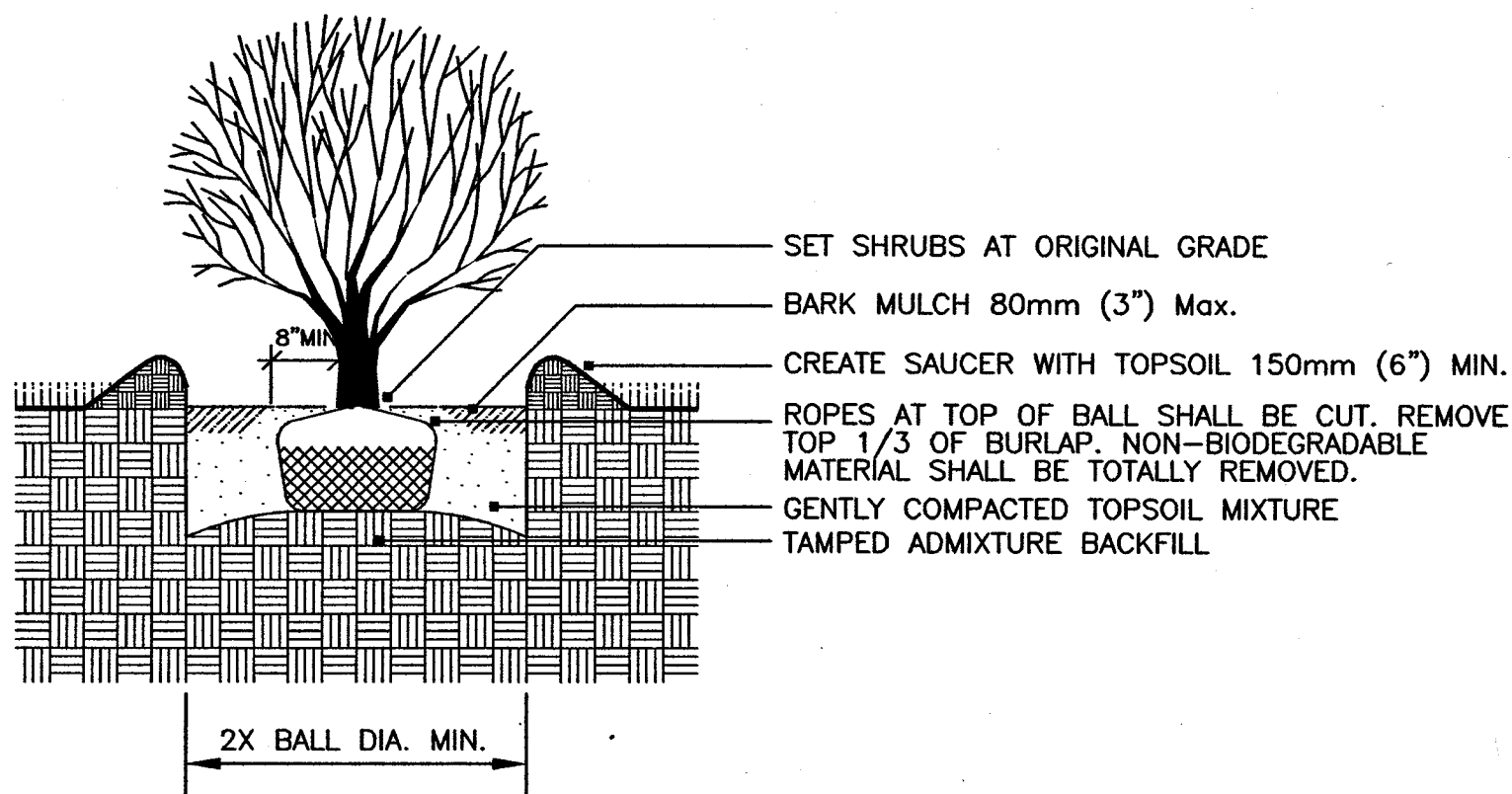
LEGEND

UTILITY POLE	TEST PIT W/ NO.
SPOT GRADE	STONE WALL
TREE LINE	EXISTING CONTOUR - 10'
EXISTING CONTOUR - 2'	WETLAND BOUNDARY
SOILS BOUNDARY LINE	BUILDING SETBACK LINE
ABUTTING PROPERTY LINE	EXISTING PROPERTY LINE





LOCATION MAP



SHRUB PLANTING - BALL & BURLAP

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE
AC	4	ABIES CONCOLOR	WHITE FIR	6-8'
AK	2	ACER R. "KARPIK"	KARPICK RED MAPLE	3-3 1/2" CAL.
AR	4	AMELANCHIER "ROBIN HILL"	ROBIN HILL SERVICE BERRY	2-2 1/2" CAL.
BG	10	BUXUS "GREEN MOUNTAIN"	GREEN MOUNTAIN BOXWOOD	5 GAL.
CA	10	CORNUS S. "ARTIC FIRE"	ARTIC FIRE REDTWIG	5 GAL.
HP	4	HYDRANGEA PANICULATA	P.G. HYDRANGEA	4-5'
IR	5	ILEX V. "RED SPRITE"	RED SPRITE WINTERBERRY	2-3'
JB	4	JUNIPERUS "BLUE PACIFIC"	BLUE PACIFIC JUNIPER	3 GAL.
JM	9	JUNIPERUS "MOONGLOW"	MOONGLOW JUNIPER	5-6'
NS	4	NYSSA SYVATICA	TUPELO	3-3 1/2" CAL.
OA	1	OXYDENDRUM ARBOREUM	SOURWOOD	2-2 1/2" CAL.
PS	16	PANICUM "SHENANDOAH"	SHENANDOAH HEAVY METAL SWITCH GRASS	2 GAL.
PC	13	PHYSOCARPUS "COPPERTINA"	COPPERTINA NINEBARK	3-4'
PG	3	PICEA GLAUCA	WHITE SPRUCE	6-8'
RK	5	ROSA "KNOCKOUT"	KNOCK OUT ROSE	3 GAL.
SD	7	SALIX DISCOLOR	PUSSY WILLOW	5 GAL.
VB	14	RHODODENDRON SPP.	RHODODENDRON	3 GAL.

ZONING REQUIREMENTS

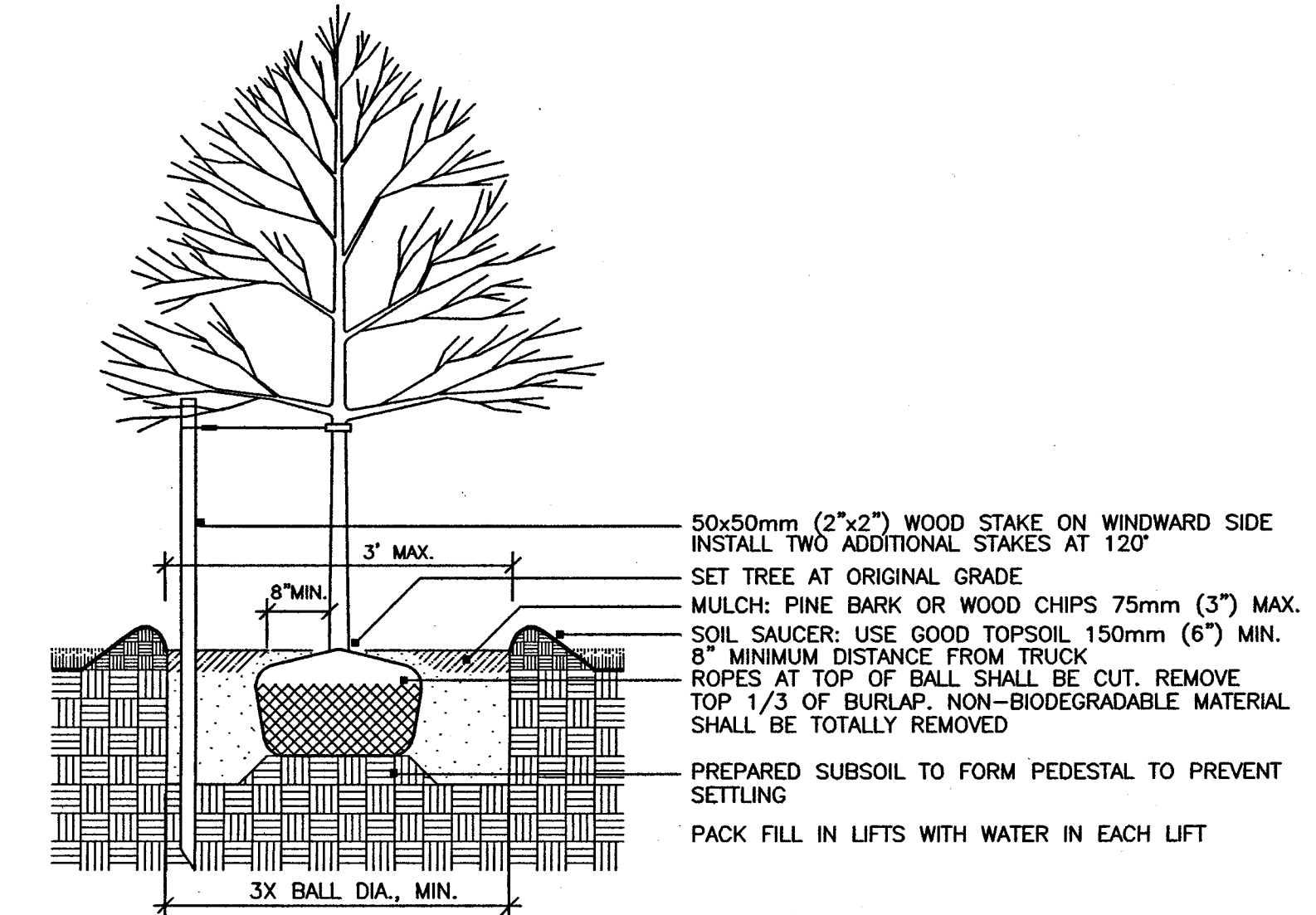
ZONE	TC
LOT AREA MIN MIXED USE	40000 SF
MIN. FRONTAGE	200 FT.
FRONT YARD	0-25 FT.
SIDE YARD	10 FT.
REAR YARD	10 FT.
WETLANDS:	
BUILDING SETBACK	50 FT. HYDRIC B
SEPTIC SETBACK	100 FT. HYDRIC A
	50 FT. HYDRIC B
	75 FT. HYDRIC A

PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863



DECIDUOUS TREE PLANTING WITH STAKE AND WIRE TIE - HEAVY DUTY

NOTE: STAKING TO BE USED IN PARKING ISLANDS AND OTHER CONFINED AREAS AS NECESSARY TO AVOID CONFLICTS WITH PEDESTRIANS

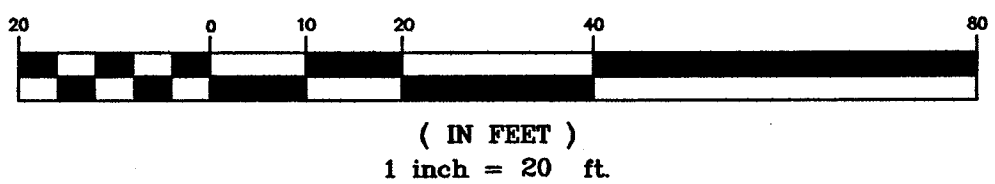
PLANTING NOTES:

1. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
2. A 3-INCH MAX DEEP SHREDDED PINE BARK SHALL BE INSTALLED UNDER ALL SHRUBS, AND IN ALL PLANTING BEDS, AS DIRECTED BY OWNER.
3. ALL TREES SHALL BE BAILED AND BURLAPPED UNLESS OTHERWISE NOTED, OR APPROVED GALLON DESIGNATION CONTAINER.
4. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
5. LOAM AND SEED ALL DISTURBED AREAS NOT OTHERWISE NOTED.
6. DO NOT INSTALL LOAM IN AREAS OF EXISTING TREES TO REMAIN.
7. THE LANDSCAPING OF THE SITE IS INTEGRAL TO THE APPROVAL BY THE PLANNING BOARD AND SHALL BE REASONABLY MAINTAINED AND WHEN DEAD OR REMOVED, MUST BE REASONABLY REPLACED.

TOWN NOTES

THE LANDSCAPING OF THE SITE DEPICTED ON THIS PLAN IS INTEGRAL TO THE APPROVAL BY THE STRATHAM PLANNING BOARD AND SHALL BE REASONABLY MAINTAINED AND WHEN DEAD OR REMOVED, MUST BE REASONABLY REPLACED.

GRAPHIC SCALE

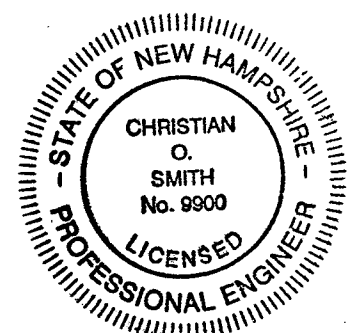
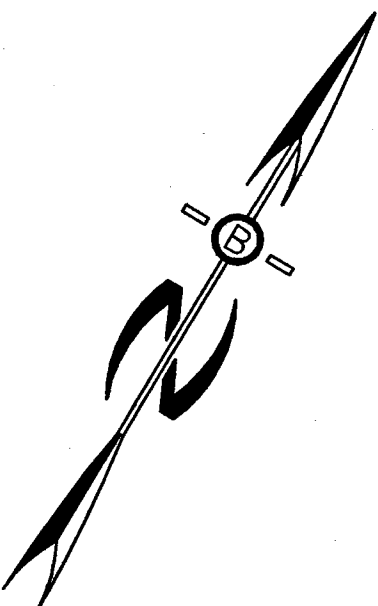


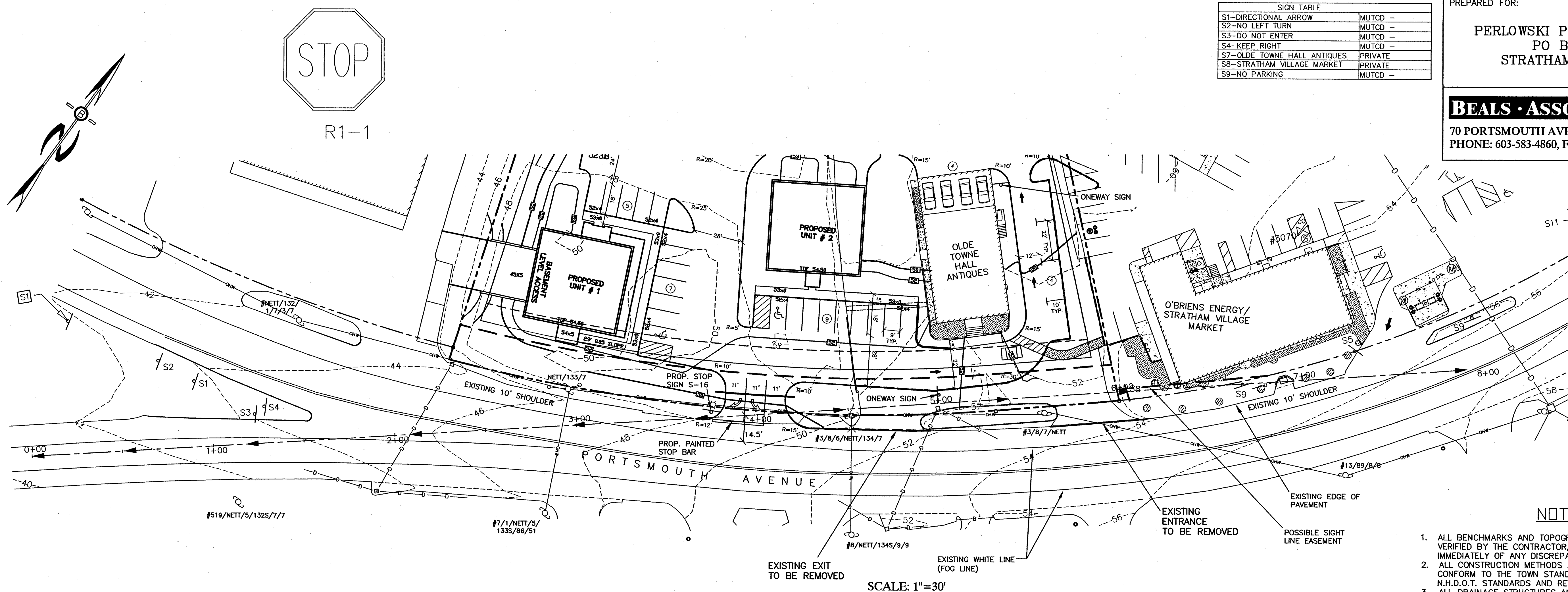
REVISED PER TRC RECOMMENDATIONS	3/1/18
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
REVISIONS:	DATE:

LANDSCAPE PLAN

RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: 1" = 20'
PROJ. NO: NH-1066	SHEET NO. 7 OF 10





SIGN TABLE	
S1-DIRECTIONAL ARROW	MUTCD -
S2-NO LEFT TURN	MUTCD -
S3-DO NOT ENTER	MUTCD -
S4-KEEP RIGHT	MUTCD -
S7-OLDE TOWNE HALL ANTIQUES	PRIVATE
S8-STRATHAM VILLAGE MARKET	PRIVATE
S9-NO PARKING	MUTCD -

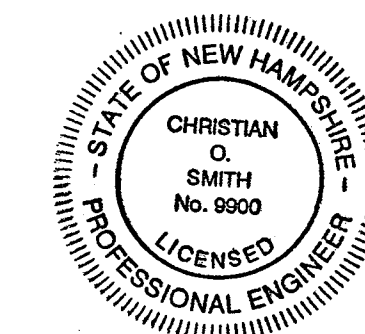
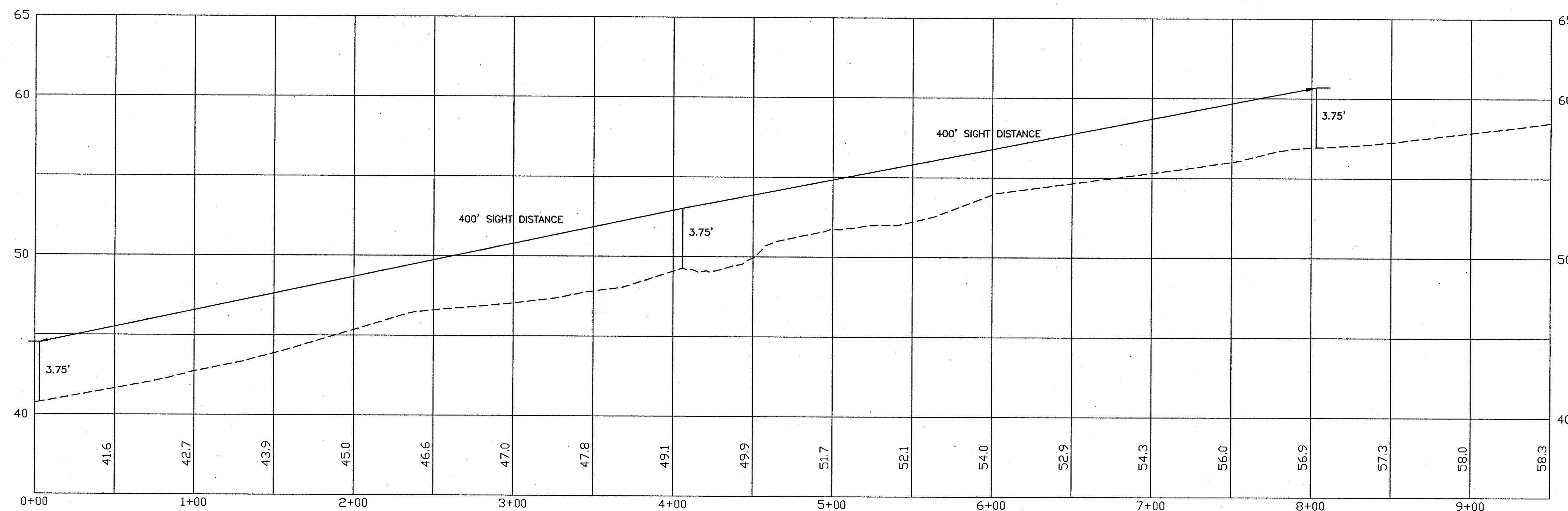
PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC
70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

NOTES

1. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR. ENGINEER TO BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCY.
2. ALL CONSTRUCTION METHODS AND MATERIALS WILL CONFORM TO THE TOWN STANDARD SPECIFICATIONS AND TO N.H.D.O.T. STANDARDS AND REGULATIONS.
3. ALL DRAINAGE STRUCTURES AND SWALES WILL BE BUILT AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.



PROFILE SCALES:
HORIZONTAL: 1"=40' VERTICAL: 1"=4'

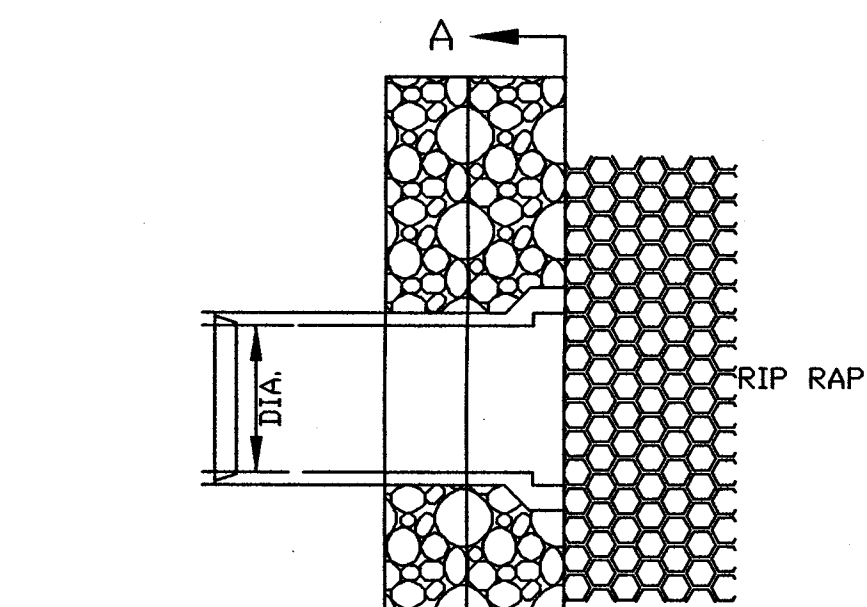
REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
PER TRC RECOMMENDATIONS	3/1/18
PER NHDOT REVIEW	2/22/18
REVISIONS:	DATE:
HIGHWAY ACCESS PLAN-H1	
RESIDENTIAL/COMMERCIAL DEVELOPMENT 149 & 151 PORTSMOUTH AVE STRATHAM, NH	
DATE: FEBRUARY 2018	SCALE: 1"=30'
PROJ. NO: NH-1066	SHEET NO. 8 OF 10

PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

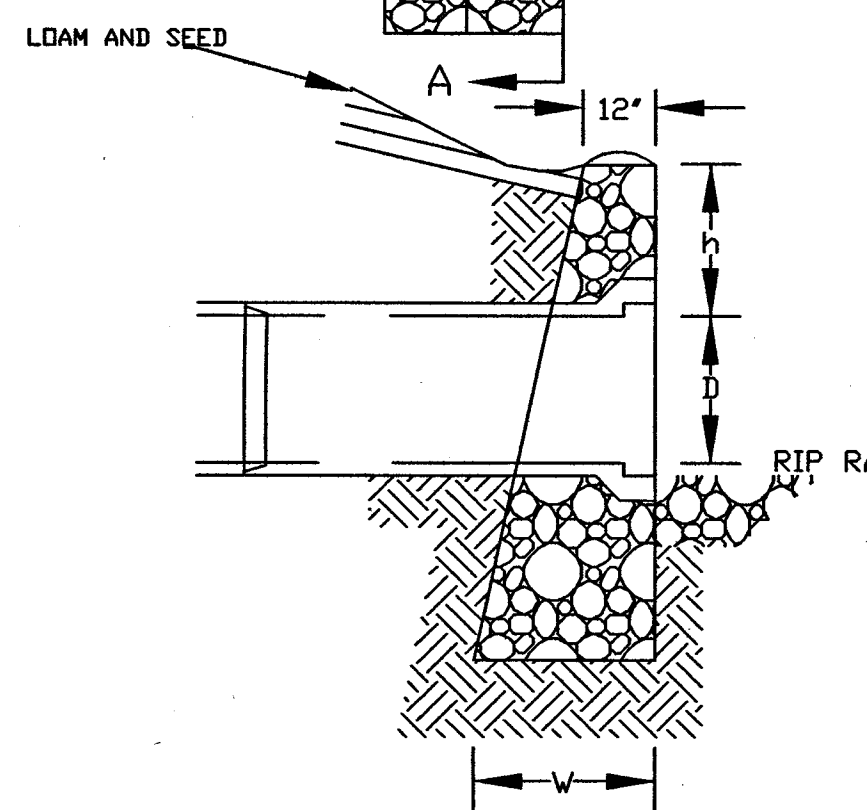
BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
PHONE: 603-583-4860, FAX: 603-583-4863

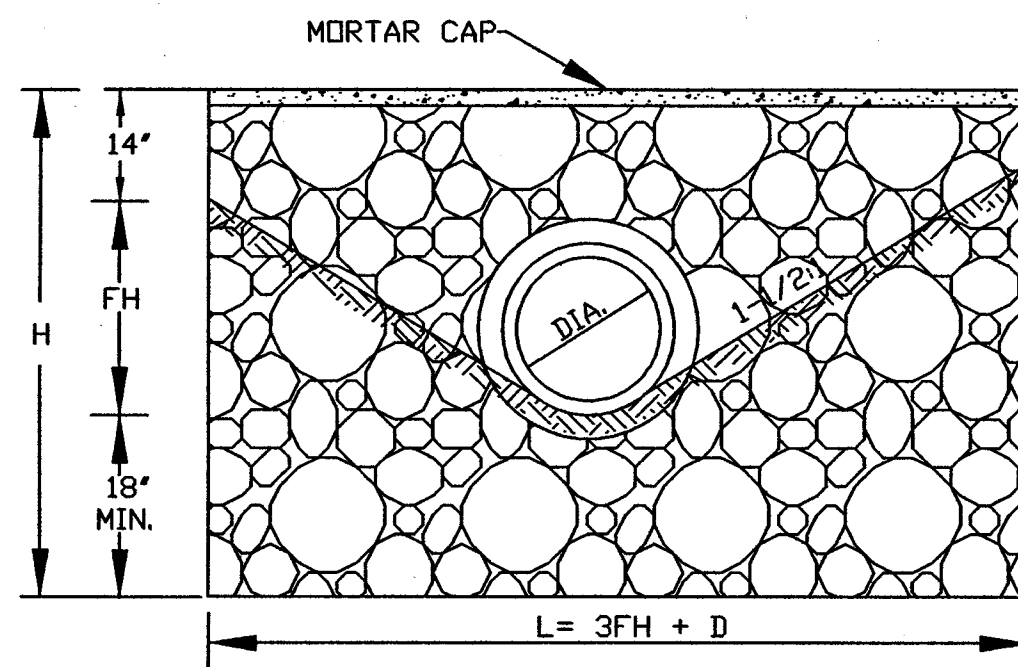


DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
15"	6'-0"	4'-3"	1'-7"	1'-6"	2'-1"
18"	7'-0"	4'-6"	1'-10"	1'-6"	2'-2"
24"	9'-0"	5'-0"	2'-4"	1'-6"	2'-3"
30"	11'-0"	5'-6"	2'-10"	1'-6"	2'-5"
36"	13'-0"	6'-0"	3'-4"	1'-6"	2'-6"
42"	15'-9"	6'-9"	4'-1"	1'-9"	2'-9"
48"	17'-9"	7'-3"	4'-7"	1'-9"	2'-10"

- NOTE:
1. ALL DIMENSIONS GIVEN IN FEET AND INCHES EXCEPT PIPE DIAMETER.
 2. PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
 3. RIP-RAP SHALL BE SIZED TO RESIST THE TRACTIVE VELOCITY FORCES.

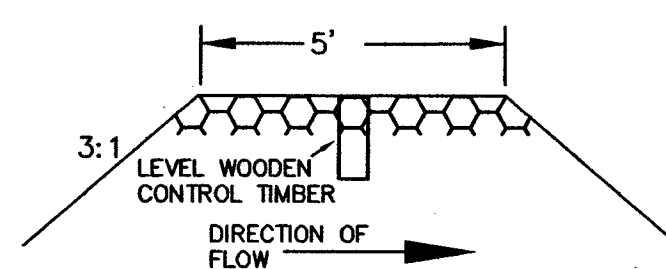


LONGITUDINAL SECTION



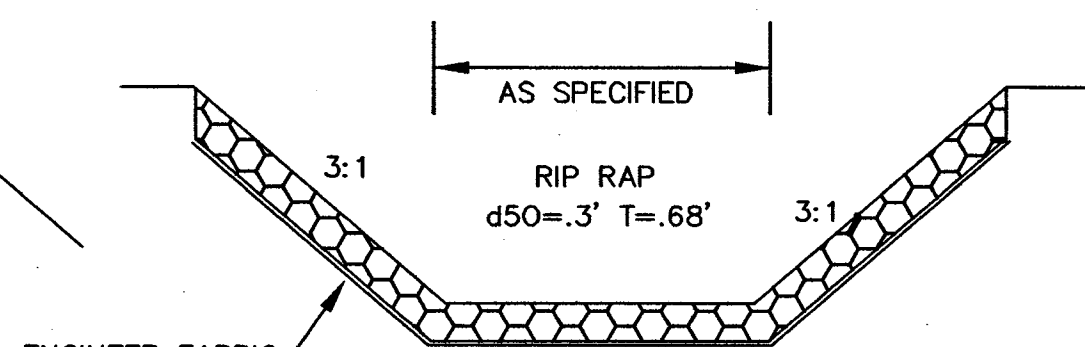
MORTAR RUBBLE, MASONRY HEADWALL DETAIL

NOT TO SCALE

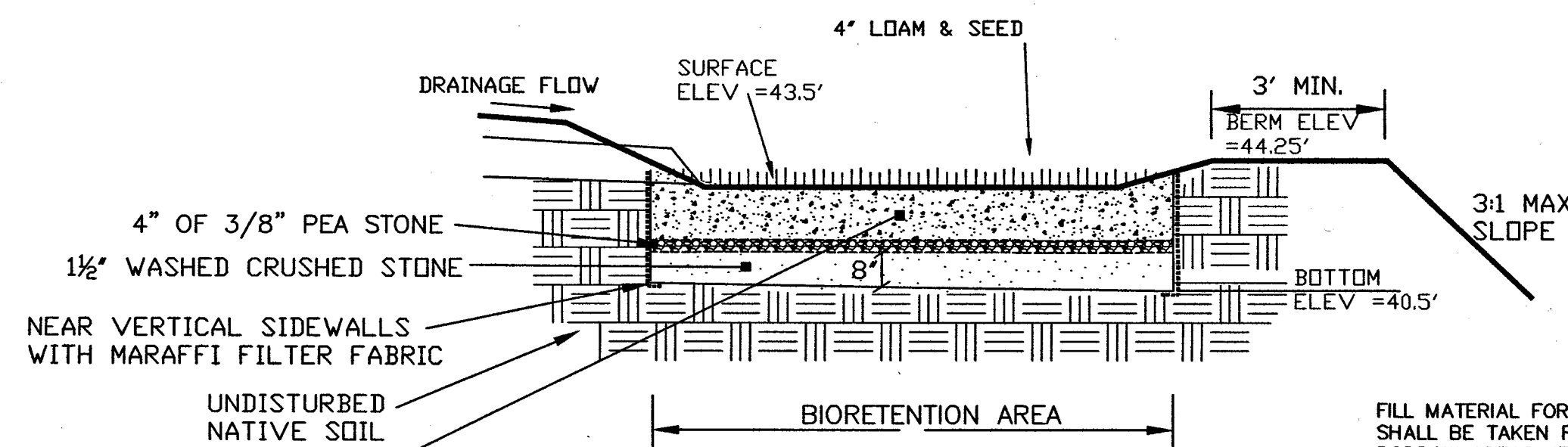


RIPRAP WEIR PROFILE

RIPRAP WEIR DETAIL



ENGINEER FABRIC
AMOCO 2002 WOVEN GEOTEXTILE

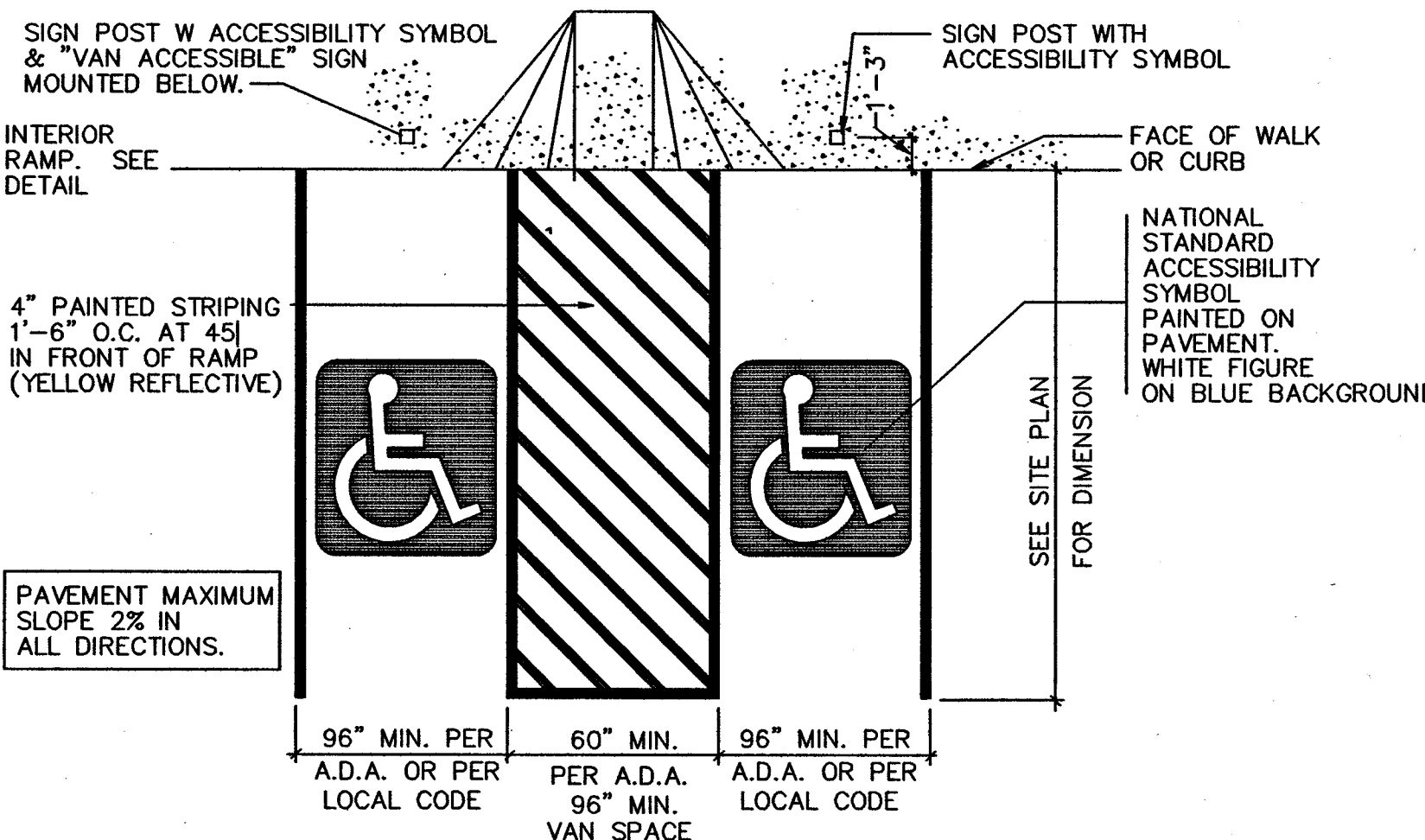


BIORETENTION AREA PROFILE DETAIL

NOT TO SCALE

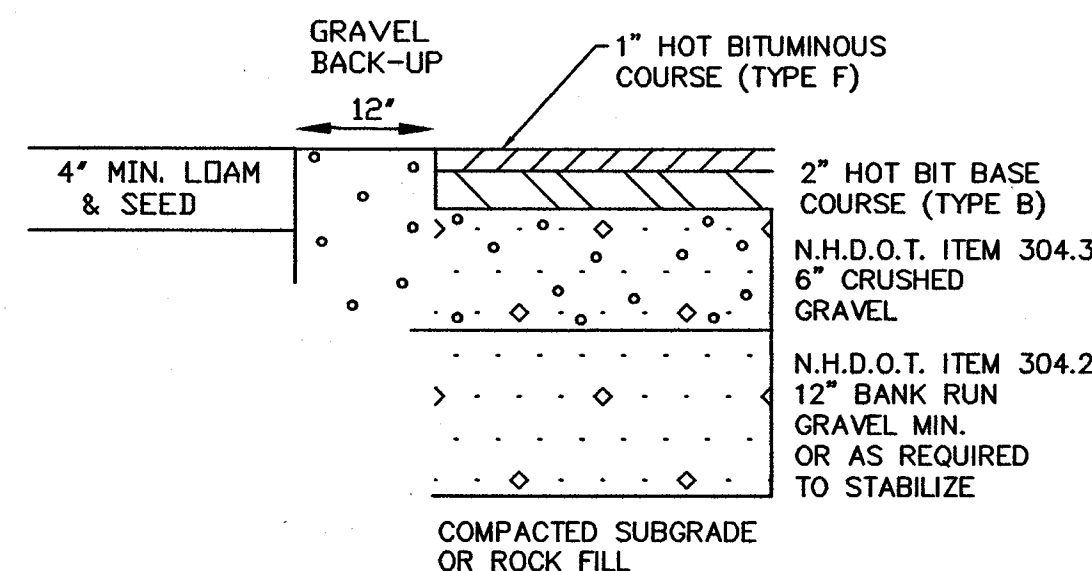
24" FILTER MEDIA; MIXTURE 20% COMPOST/FINELY SHREDDED BARK OR WOOD MULCH W/ <5% PASSING THE #200 SIEVE, 30% LOAMY TOPSOIL, 50% SANDY SOIL (SAND PORTION SHALL BE ASTM C33 FINE AGGREGATE)

FILL MATERIAL FOR EMBANKMENT SHALL BE TAKEN FROM APPROVED BORROW AREAS. IT SHALL BE CLEAN MINERAL SOIL FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OVER (6) INCHES IN DIMENSION, AND NOT MORE THAN FIFTEEN PERCENT (15%) OF THE ROCKS OR LUMPS SHALL BE GREATER THAN 2 1/2 INCHES OR LESS AND BE COMPACTED TO AT LEAST 90% OF ASTM D-1557. FILL MATERIAL SHALL MEET NHDOT ITEM 304.2: 6" PASSING 100%, #4 SIEVE 70-100%, #200 SIEVE 0-12%.



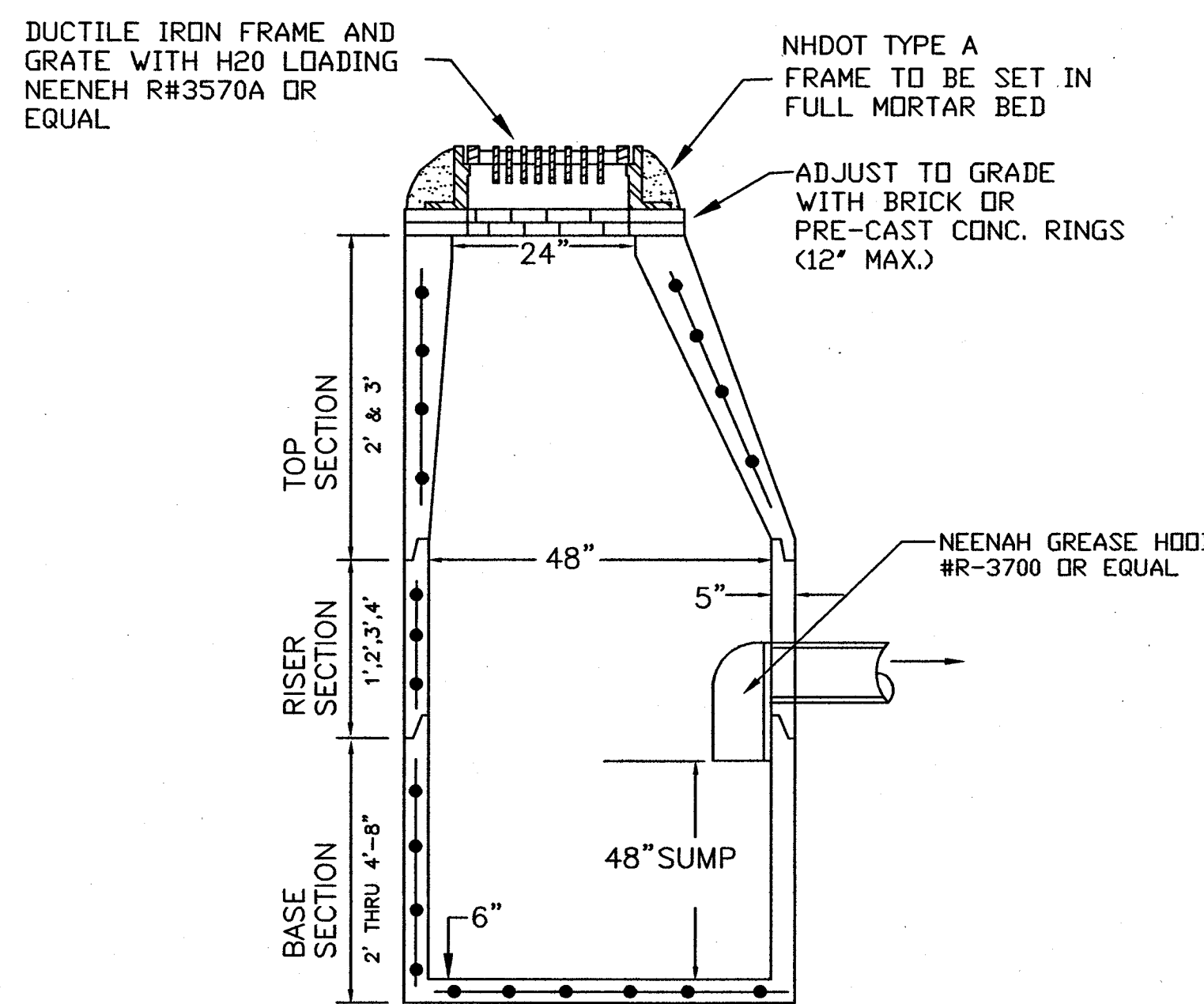
PARKING STALL FOR THE PHYSICALLY CHALLENGED

NOT TO SCALE DEC. 15, 1991



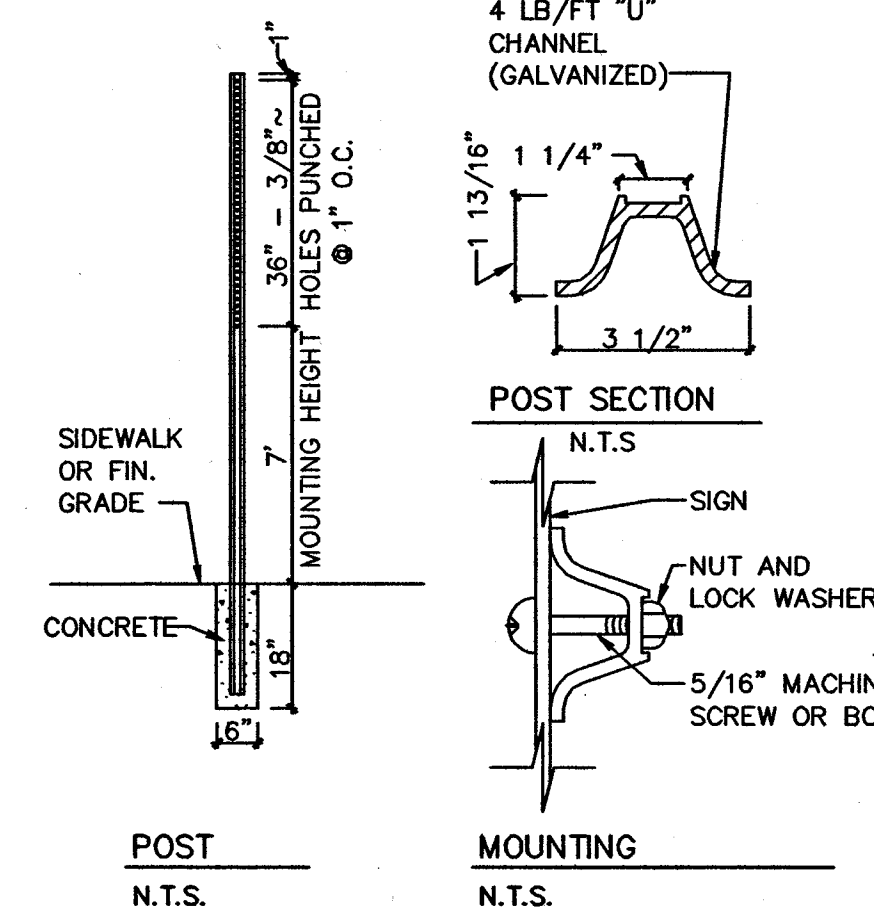
NOTE: IN AREAS OF ROCK EXCAVATION, MINIMUM 9" BANK RUN GRAVEL SHALL BE PLACED

TYPICAL PAVEMENT SECTION OUTSIDE OF NHDOT R.O.W.
NEW ASPHALT - NTS



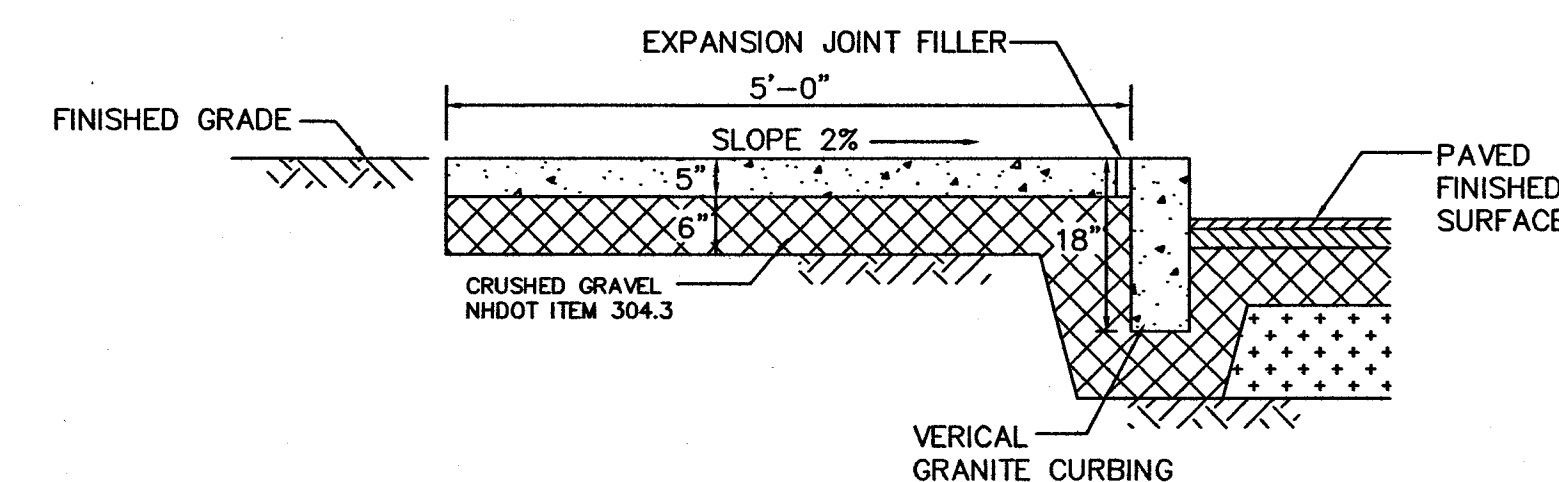
PRECAST CATCH BASIN

NOT TO SCALE



STREET SIGN DETAIL

STOP SIGN (R1-1) 30" x 30"

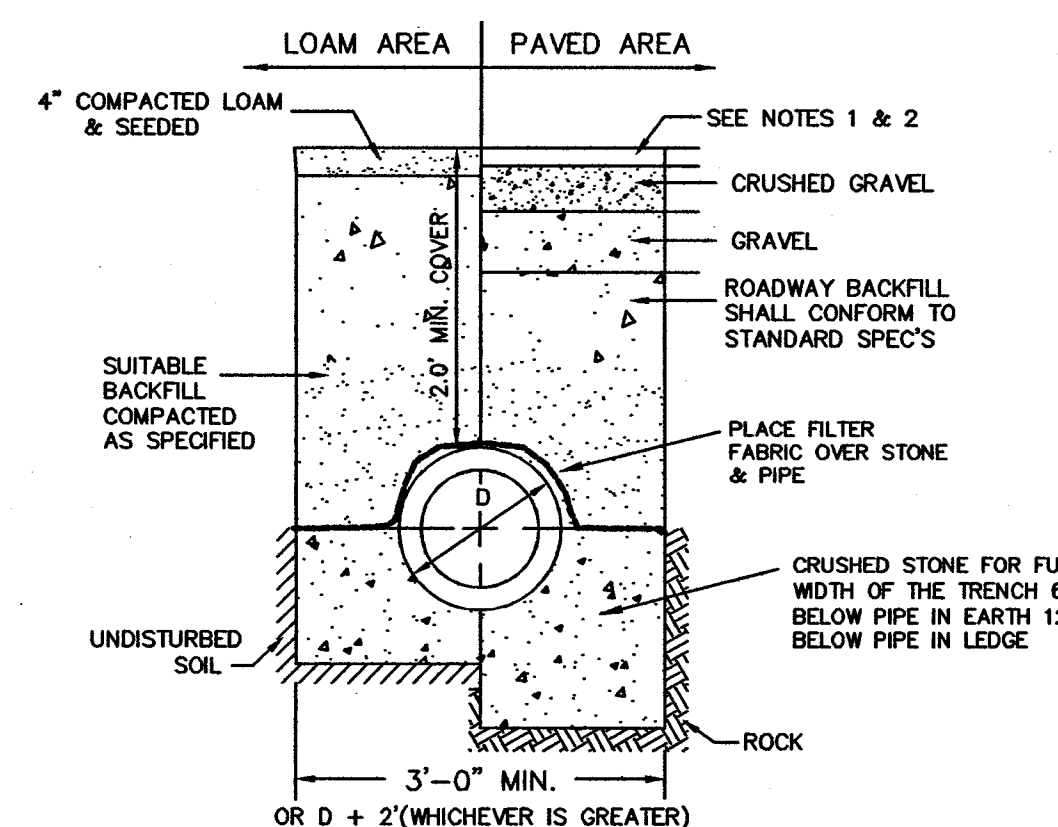


SIDEWALK NOTES:

1. PLACE A TOOLED JOINT 1/8" WIDE AND AT LEAST 1/3 OF THE DEPTH @ 5'-0" O.C.
2. PLACE AN EXPANSION JOINT WITH FILLER EVERY 20'-0"
3. PROVIDE FINE-GRAINED, NON-SKID TEXTURE
4. APPLY PROTECTIVE COATING AFTER 14 DAYS
5. SIDEWALK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NHDOT STANDARDS, SECTION 608.

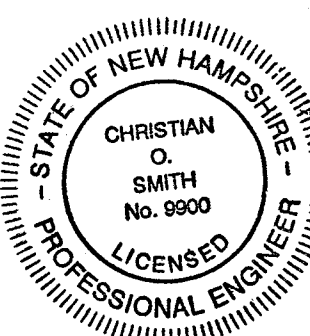
CONCRETE SIDEWALK & GRANITE CURB DETAILS

NOT TO SCALE



- NOTE:
1. PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
 2. NEW ROADWAY CONSTRUCTION SHALL CONFORM TO SUBDIVISION SPEC'S.

TYPICAL DRAINAGE TRENCH DETAIL



REVISED PER PLANNING BOARD RECOMMENDATIONS	4/2/18
PER TRC RECOMMENDATIONS	3/1/18
REVISIONS:	DATE:

CONSTRUCTION DETAILS

RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018	SCALE: AS-NOTED
PROJ. NO: NH-1066	SHEET NO. 9 OF 10

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING

- A. SLOPES SHALL NOT BE STEEPER THAN 2:1; 3:1 SLOPES OR FLATTER ARE PREFERRED. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDBED PREPARATION

- A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND

- A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
- AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS PER 1,000 SQ. FT.
- NITROGEN(N), 50 LBS PER ACRE OR 1.1 LBS PER 1,000 SQ.FT.
- PHOSPHATE(P2O5), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
- POTASH(K2O), 100 LBS PER ACRE OR 2.2 LBS PER 1,000 SQ.FT.
- (NOTE: THIS IS THE EQUIVALENT OF 500 LBS PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS PER ACRE OF 5-10-10.)

- B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.

- C. REFER TO TABLE(E-1 THIS SHEET) FOR APPROPRIATE SEED MIXTURES AND TABLE(H-1 THIS SHEET) FOR RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDS FOOT TREFOIL, AND FLAT PEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT.

- D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.

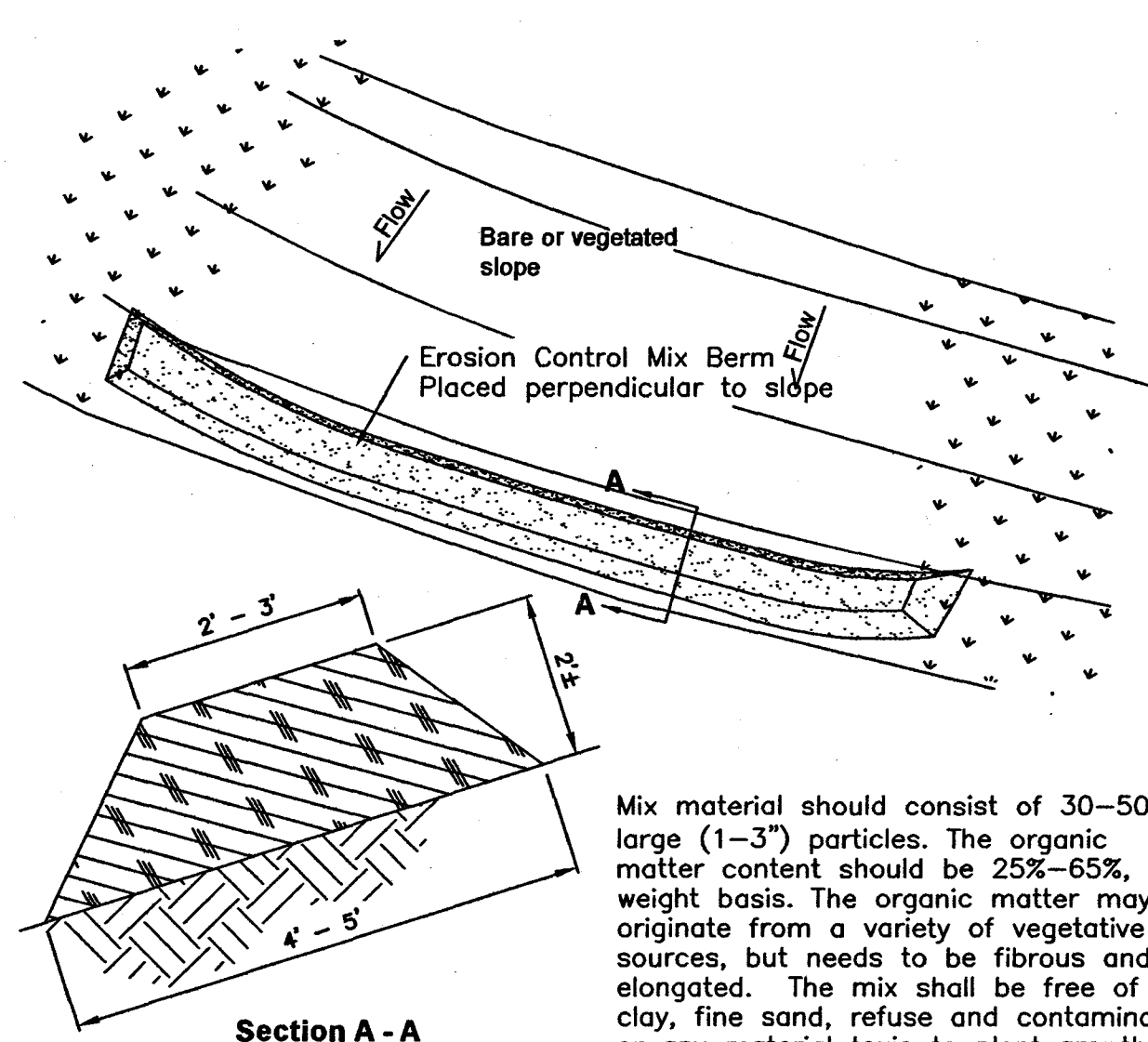
4. MULCH

- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.

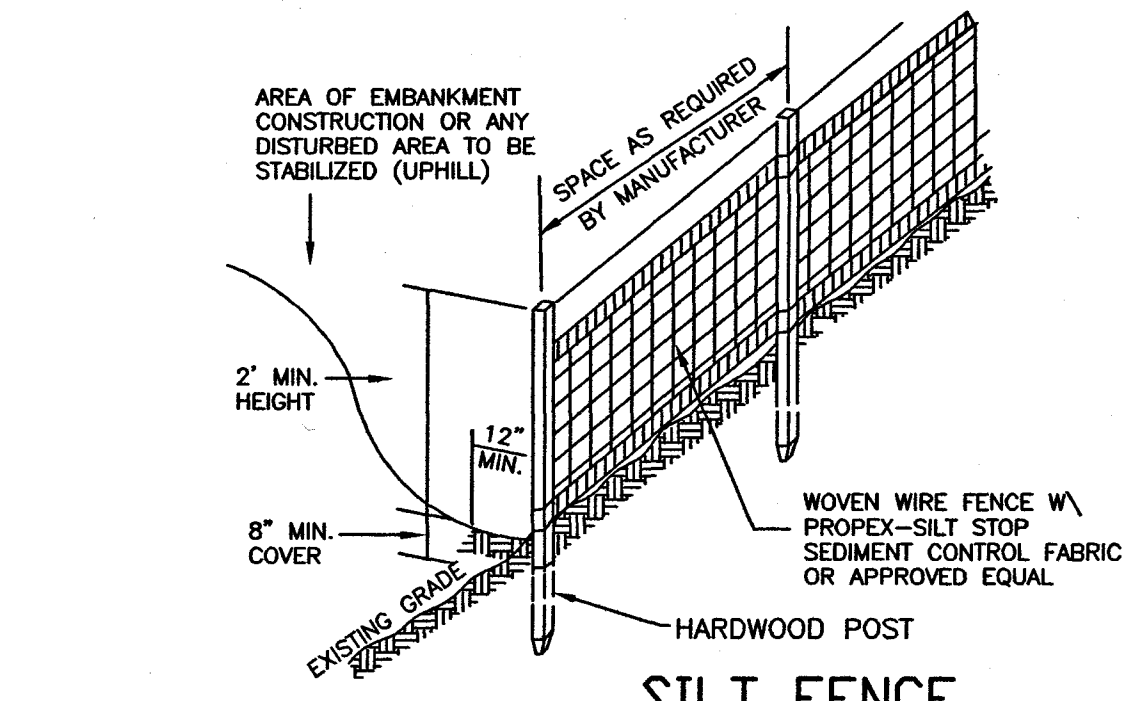
- B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 SQ. FT.

5. MAINTENANCE TO ESTABLISH A STAND

- A. PLANTED AREA SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
- B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIAL STAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
- C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.



Erosion Control Mix Berm



SILT FENCE

CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES AND FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP MID AND BOTTOM SECTIONS AND BE EMBEDDED INTO GROUND A MINIMUM OF 8". 2. THE FENCE POSTS SHALL BE A MINIMUM 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED BY SIX INCHES, FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE AND PROPERLY DISPOSED OF.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND RE-VEGETATED.

MAINTENANCE

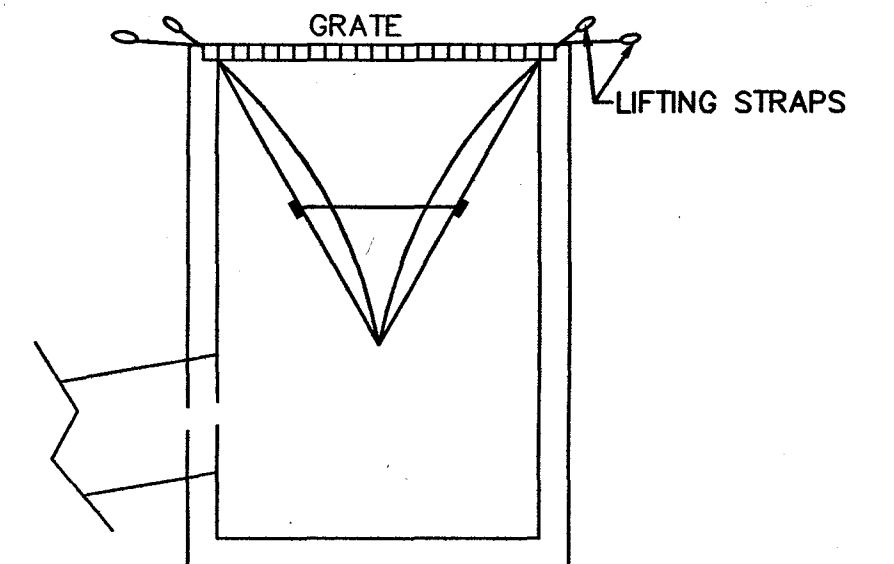
1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

PREPARED FOR:

PERLOWSKI PROPERTIES, LLC.
PO BOX 1137
STRATHAM, NH 03885

BEALS ASSOCIATES PLLC

70 PORTSMOUTH AVE, STRATHAM, N.H. 03885
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RECOMMENDED MAINTENANCE SCHEDULE

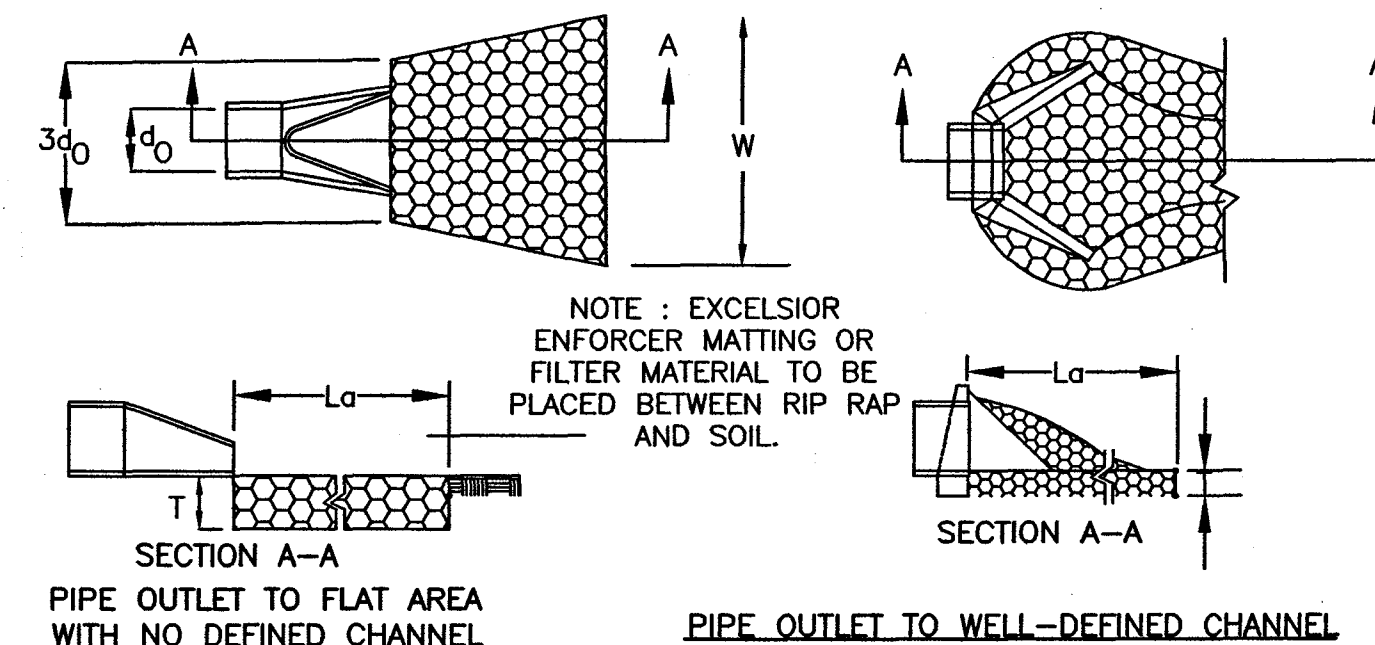
-EACH SILTSACK SHOULD BE INSPECTED AFTER EVERY MAJOR RAIN EVENT

-IF THERE HAVE BEEN NO MAJOR EVENTS, SILTSACK SHOULD BE INSPECTED EVERY 2-3 WEEKS

-THE RESTRAINT CORD SHOULD BE VISIBLE AT ALL TIMES. IF CORD IS COVERED WITH SEDIMENT, THE SILTSACK SHOULD BE EMPTIED.

SILTSACK DETAIL

NOT TO SCALE



PIPE OUTLET PROTECTION

CONSTRUCTION SPECIFICATIONS

1. THE SUB GRADE FOR THE FILTER MATERIAL, GEOTEXTILE FABRIC, AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
2. THE ROCK OR GRAVEL USED FOR FILTER OF RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION. 3. GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP RAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
4. STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
5. STONE FOR RIPRAP SHALL BE ANGULAR OR SUBANGULAR. THE STONES SHOULD BE SHAPED SO THAT THE LEAST DIMENSION OF THE STONE FRAGMENT SHALL BE NOT LESS THAN ONE-THIRD OF THE GREATEST DIMENSION OF THE FRAGMENT.
6. FLAT ROCKS SHALL NOT BE USED FOR RIP RAP. VOIDS IN THE ROCK RIPRAP SHOULD BE FILLED WITH SPALLS AND SMALLER ROCKS.

MAINTENANCE

1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

SEEDING GUIDE

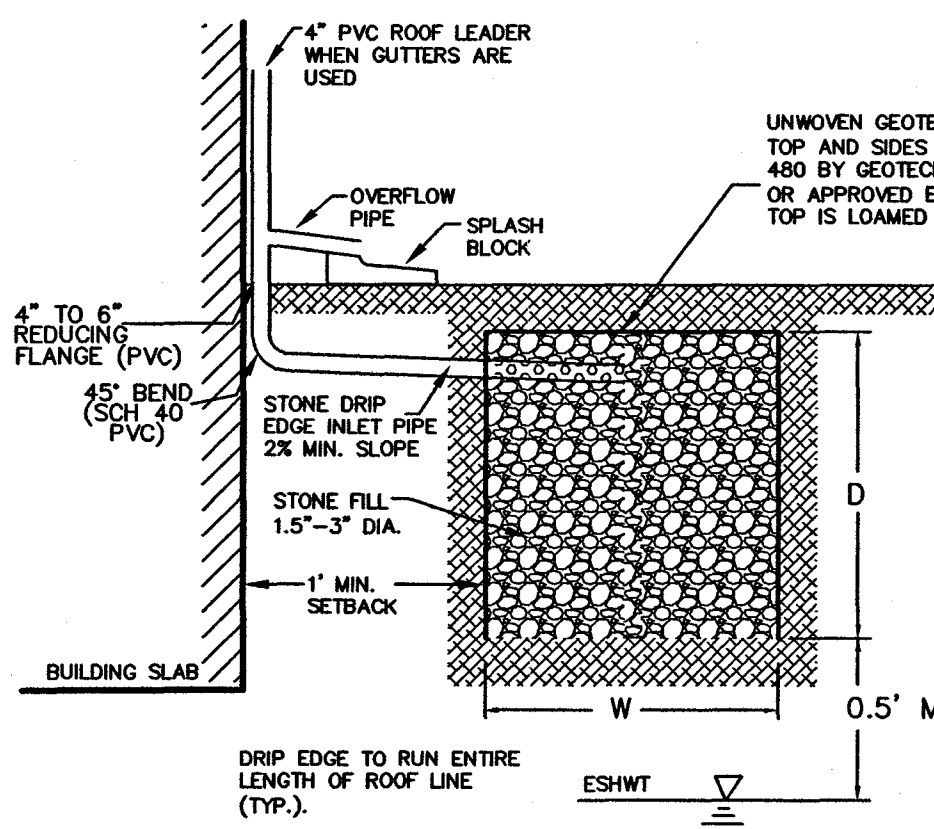
USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	POOR
	C	POOR	GOOD	EXCELLENT	POOR
	D	FAIR	FAIR	EXCELLENT	POOR
	E	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	EXCELLENT	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	FAIR
	E	FAIR	GOOD	GOOD	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	EXCELLENT	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
	D	FAIR	GOOD	GOOD	FAIR
	E	FAIR	GOOD	GOOD	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF)	F	FAIR	EXCELLENT	EXCELLENT	2/
	G	FAIR	EXCELLENT	EXCELLENT	2/

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR DATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCT. 15, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING RATES

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 SQ. FT.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/2	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.



STONE DRIP EDGE SECTION

NOT TO SCALE

NOTE

NEW BUILDINGS SHALL HAVE STONE TRENCHES FOR ROOF RUNOFF MITIGATION (SEE DETAIL THIS SHEET). TRENCHES SHALL BE 5' IN WIDTH AND EXTEND THE ENTIRE LENGTH OF THE ROOF EAVES (BOTH SIDES) AS REQUIRED.

Stone Drip Edge Maintenance:

The drip edges will be inspected within the first three months after construction; thereafter the drip edges will be inspected 2 times per year to ensure that they are draining within 72 hours of a rain event equivalent to 2.5" or more.

Remove and dispose of sediments or debris as needed

Total rehabilitation of a drip edge should be conducted to maintain storage capacity within 2/3 of the design volume and 72-hour exfiltration rate limit.

Trench walls should be excavated to expose clean soil upon failure, and the soil scarified prior to replacement of clean stone.

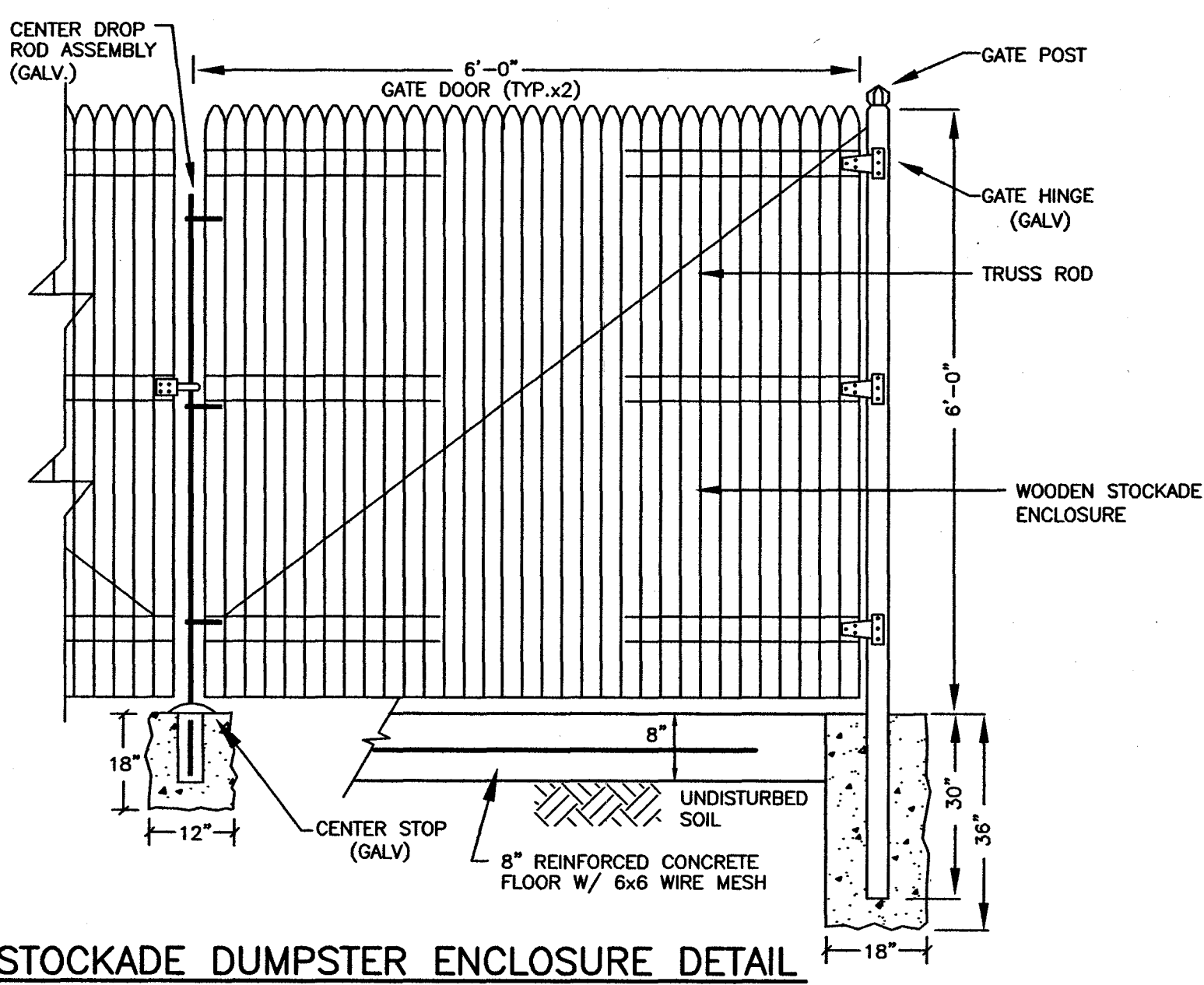
WINTER MAINTENANCE

1. ALL DISTURBED AREAS THAT DO NOT HAVE AT LEAST 85% VEGETATIVE COVERAGE PRIOR TO OCTOBER 15TH, SHALL BE STABILIZED BY APPLYING MULCH AT A RATE OF 3-4 TONS PER ACRE. ALL SIDE SLOPES, STEEPER THAN 4:1, THAT ARE NOT DIRECTED TO SWALES OR DETENTION BASINS, SHALL BE LINED WITH BIODEGRADABLE/PHOTODEGRADABLE "JUTE MATTING" (EXCELSIOR'S CURLEX II OR EQUAL). ALL OTHER SLOPES SHALL BE MULCHED AND TACKED AT A RATE OF 3-4 TONS PER ACRE. THE APPLICATION OF MULCH AND/OR JUTE MATTING SHALL NOT OCCUR OVER EXISTING SNOW COVER. IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY SNOW THAT ACCUMULATES ON DISTURBED AREAS SHALL BE REMOVED. PRIOR TO SPRING THAW ALL AREAS WILL BE STABILIZED, AS DIRECTED ABOVE.

2. ALL SWALES THAT DO NOT HAVE FULLY ESTABLISHED VEGETATION SHALL BE EITHER LINED WITH TEMPORARY JUTE MATTING OR TEMPORARY STONE CHECK DAMS (APPROPRIATELY SPACED). STONE CHECK DAMS WILL BE MAINTAINED THROUGHOUT THE WINTER MONTHS. IF THE SWALES ARE TO BE MATTED WITH PERMANENT LINERS OR RIPRAP WITH ENGINEERING FABRIC, THIS SHALL BE COMPLETED PRIOR TO WINTER SHUTDOWN OR AS SOON AS THEY ARE PROPERLY GRADED AND SHAPED.

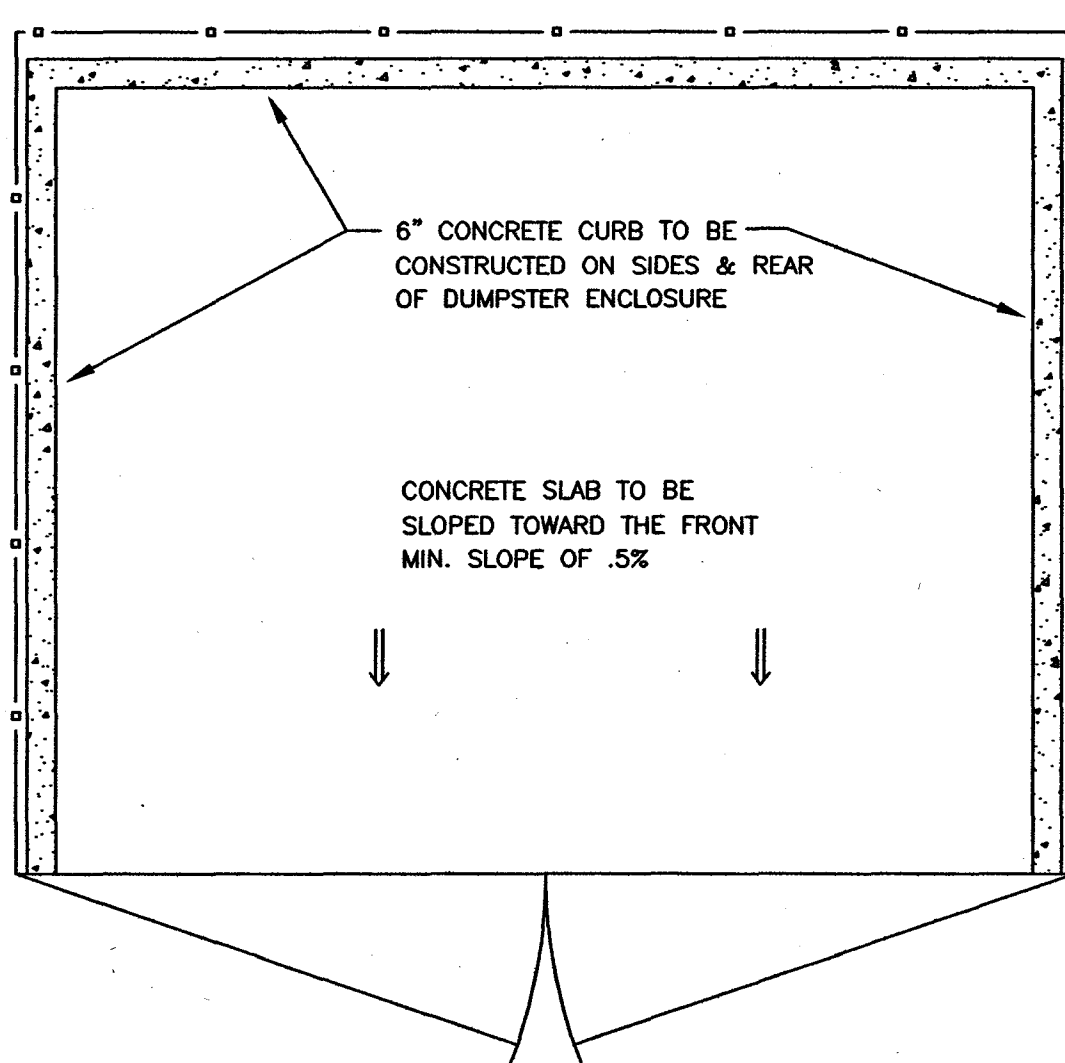
3. PRIOR TO NOV. 15TH ALL ROADWAY AND PARKING AREAS SHALL BE BROUGHT UP TO AND THROUGH THE BANK RUN GRAVEL APPLICATION. IF THESE AREAS' ELEVATIONS ARE PROPOSED TO REMAIN BELOW THE PROPOSED SUBGRADE ELEVATION, THE SUBGRADE MATERIAL SHALL BE ROUGHLY CROWNED AND A 3" LAYER OF CRUSHED GRAVEL SHALL BE PLACED AND COMPACTED. THIS WILL ALLOW THE SUBGRADE TO SHED RUNOFF AND WILL REDUCE ROADWAY EROSION. THIS CRUSHED GRAVEL DOES NOT HAVE TO CONFORM TO NH DOT 304.3, BUT SHALL HAVE BETWEEN 15-25% PASSING THE #200 SIEVE AND THE LARGEST STONE SIZE SHALL BE 2". IF THE SITE IS ACTIVE AFTER NOVEMBER 15TH, ANY ACCUMULATED SNOW SHALL BE REMOVED FROM ALL ROADWAY AND PARKING AREAS.

4. AFTER OCTOBER 15TH, THE END OF NEW HAMPSHIRE'S AVERAGE GROWING SEASON, NO ADDITIONAL LOAM SHALL BE SPREAD ON SIDE SLOPES AND SWALES. THE STOCKPILES THAT WILL BE LEFT UNDISTURBED UNTIL SPRING SHALL BE SEEDED BY THIS DATE. AFTER OCTOBER 15TH, ANY NEW OR DISTURBED PILES SHALL BE MULCHED AT A RATE OF 3-4 TONS PER ACRE. ALL STOCKPILES THAT WILL REMAIN THROUGHOUT THE WINTER SHALL BE SURROUNDED WITH SILT FENCING.



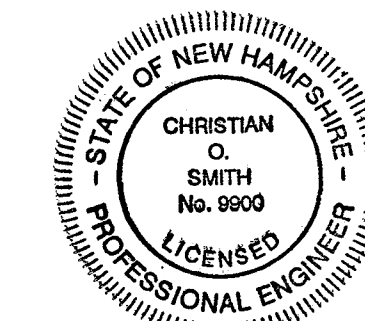
STOCKADE DUMPSTER ENCLOSURE DETAIL

N.T.S.



DUMPSTER SLAB DETAILS

N.T.S.



EROSION CONTROL DETAILS

RESIDENTIAL/COMMERCIAL
DEVELOPMENT
149 & 151 PORTSMOUTH AVE
STRATHAM, NH

DATE: FEBRUARY 2018 SCALE: AS-NOTED
PROJ. NO: NH-1066 SHEET NO. 10 OF 10