

E:\Land Projects\3\13070-STRATHAM-112-HIGH STREET-SULLIVAN\DWG\13070-PLAN.dwg 3/15/2018 12:46:23 PM EDT

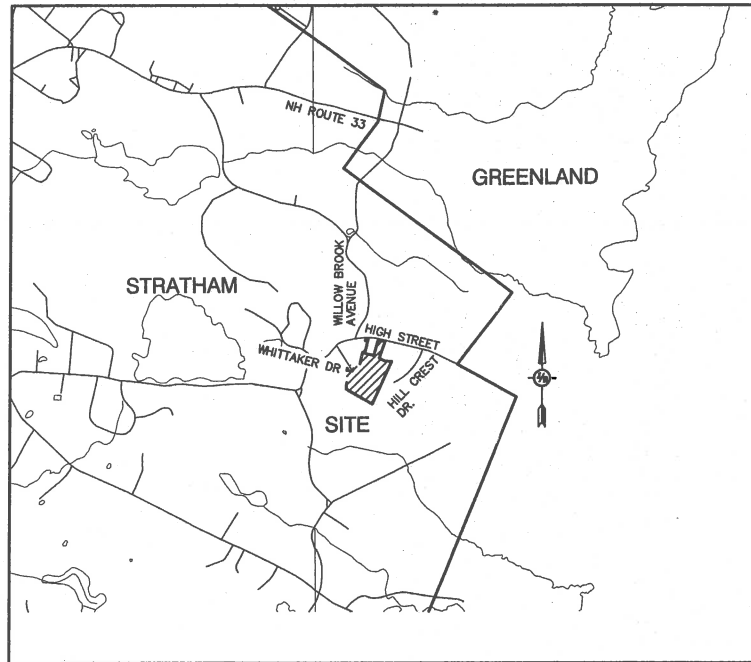
GENERAL LEGEND	
EXISTING	PROPOSED

DESCRIPTION
PROPERTY LINES
SETBACK LINES
CENTERLINE
FRESHWATER WETLANDS LINE
TREE LINE
STONEWALL
BARBED WIRE
FENCE
STOCKADE FENCE
SOIL BOUNDARY
FLOOD PLAIN LINE
EASEMENT
MAJOR CONTOUR
MINOR CONTOUR
EDGE OF PAVEMENT
SILT FENCE
DRAINAGE LINE
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
GUARDRAIL
IRON PIPE/IRON ROD
DRILL HOLE
IRON ROD/DRILL HOLE
STONE/GRANITE BOUND
SPOT GRADE
PAVEMENT SPOT GRADE
CURB SPOT GRADE
BENCHMARK (TBM)
DOUBLE POST SIGN
SINGLE POST SIGN
WELL
TEST PIT
FAILED TEST PIT
MONITORING WELL
PERC TEST
PHOTO LOCATION
TREES AND BUSHES
UTILITY POLE
LIGHT POLES
DRAIN MANHOLE
SINGLE GRATE CATCH BASIN
DOUBLE GRATE CATCH BASIN
TRANSFORMER
CULVERT W/WINGWALLS
CULVERT W/FLARED END SECTION
CULVERT W/STRAIGHT HEADWALL
STONE CHECK DAM
DRAINAGE FLOW DIRECTION
4K SEPTIC AREA
VEGETATED FILTER STRIP
RIPRAP
FRESHWATER WETLANDS
STABILIZED CONSTRUCTION ENTRANCE
CONCRETE
GRAVEL
SNOW STORAGE

SULLIVAN SUBDIVISION PLAN

TAX MAP 19 AND LOT 68

8 WHITTAKER DRIVE, STRATHAM, NH 03885



LOCUS MAP
SCALE 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1	SUBDIVISION PLAN
C1	EXISTING CONDITIONS PLAN
C2	GRADING AND DRAINAGE PLAN
P1	PLAN AND PROFILE
D1-D2	DETAIL SHEETS
E1	EROSION AND SEDIMENT CONTROL DETAILS

CIVIL ENGINEER/WETLANDS
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JONATHAN RING, PE.
EMAIL: JRING@JONESANDBEACH.COM

OWNER OF RECORD
ROBIN SULLIVAN
8 WHITTAKER DRIVE
STRATHAM, NH 03885

SOIL CONSULTANT
GOVE ENVIRONMENTAL SERVICES, INC.
8 CONTINENTAL DRIVE, UNIT H
EXETER, NH 03833-7507
(603) 778-0644
CONTACT: JIM GOVE

SURVEYOR
JAMES VERRA AND ASSOCIATES, INC.
101 SHATTUCK WAY, SUITE 8
NEWINGTON, NH 03801
(603) 436-3557
CONTACT: JAMES VERRA
EMAIL: JAMESV@JVASURVEYORS.COM

ELECTRIC
UNITIL
6 LIBERTY LANE WEST
HAMPTON, NH 03842
(800) 852-7276

TELEPHONE
FAIRPOINT COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(603) 427-5525
CONTACT: JOE CONSIDINE

CABLE TV
COMCAST COMMUNICATION CORPORATION
334-B CALEF HIGHWAY
EPPING, NH 03042-2325
(603) 679-5695

PROJECT PARCEL
TOWN OF STRATHAM, NH
MAP 19, LOT 68

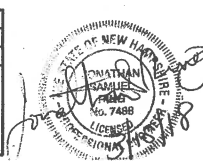
APPLICANT/OWNER
ROBIN SULLIVAN
8 WHITTAKER DRIVE
STRATHAM, NH 03885
BK 4199 PG 2969

TOTAL LOT AREA
14.99 ACRES

APPROVED - STRATHAM, NH
PLANNING BOARD

DATE:

Design: JSR	Draft: PLB	Date: 6/26/13
Checked: JSR	Scale: AS NOTED	Project No.: 13070.1
Drawing Name: 13070-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE).		
ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



7	3/21/18	PLANNING BOARD MEETING	PLB
6	2/14/18	REVISED PER TOWN COMMENTS	PLB
5	12/20/17	REVISED PER PLANNING BOARD	PLB
4	11/16/17	REVISED PER PLANNING BOARD	LAZ
3	10/5/17	REVISED PER PLANNING BOARD	PLB
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

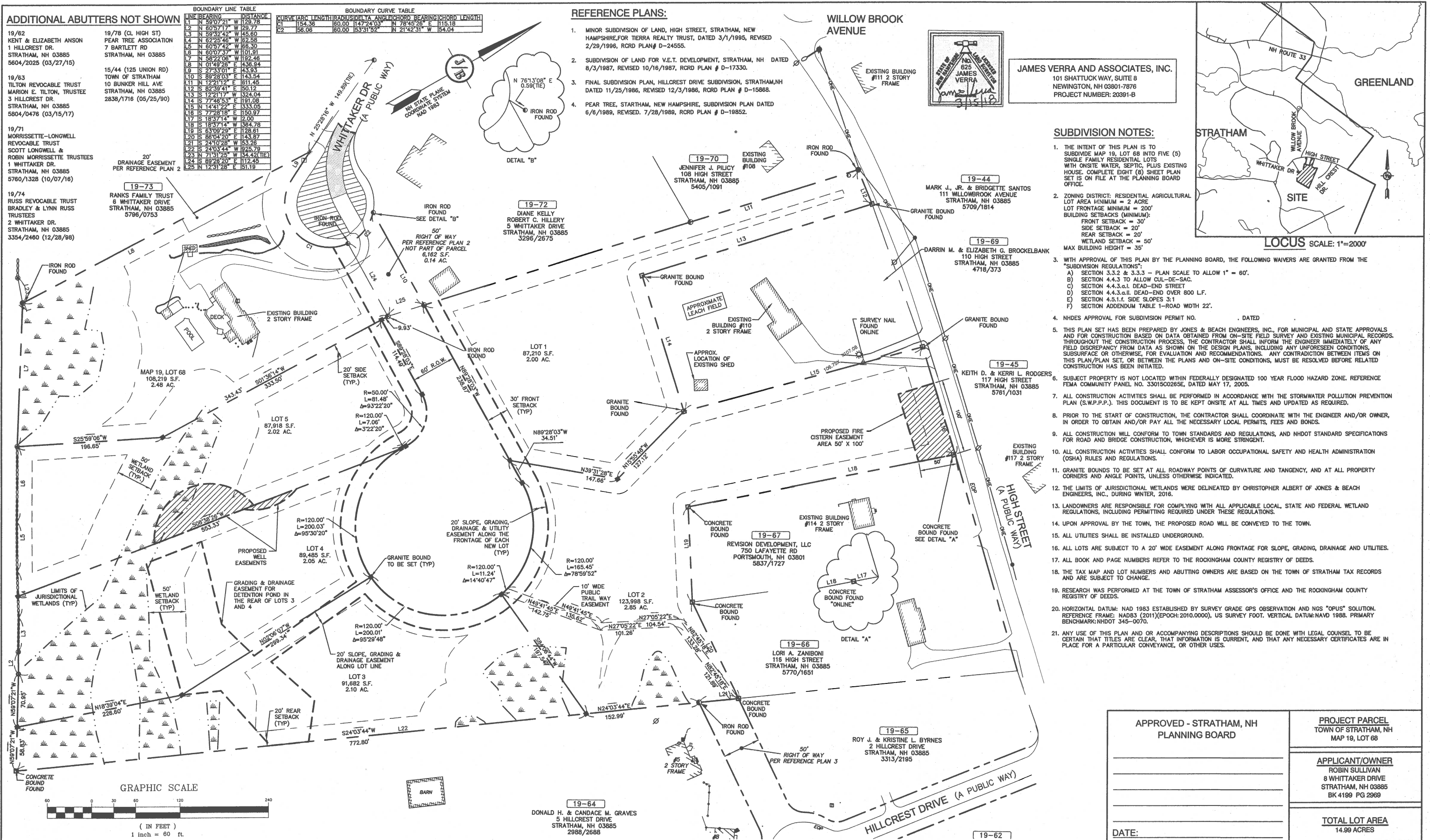
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

DRAWING No.	CS
SHEET 1 OF 8 JBE PROJECT NO. 13070.1	

SULLIVAN SUBDIVISION, 8 WHITTAKER DRIVE, STRATHAM, NH
JBE # 13070.1 REVISION 2/14/18

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REV.	DATE	REVISION	BY

Designed and Produced in NH

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **SUBDIVISION PLAN**
MAP 19, LOT 68
SULLIVAN SUBDIVISION
8 WHITTAKER DRIVE, STRATHAM, NH 03885
ROBIN SULLIVAN
8 WHITTAKER DRIVE, STRATHAM, NH 03885

Project:

Owner of Record:

DRAWING No. **A1**

SHEET 2 OF 8
JBE PROJECT NO. 13070.1

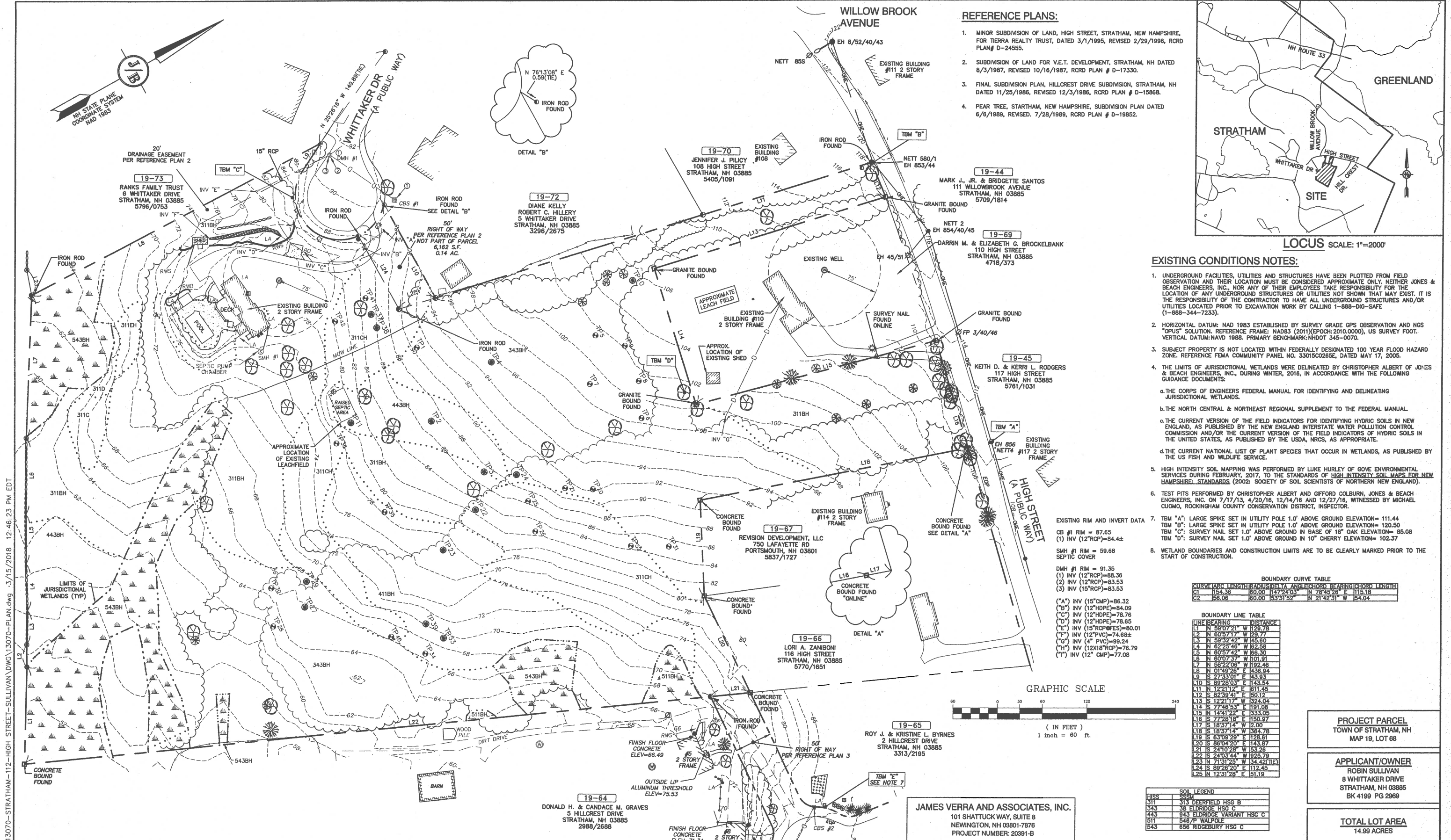
APPROVED - STRATHAM, NH
PLANNING BOARD

PROJECT PARCEL
TOWN OF STRATHAM, NH
MAP 19, LOT 68

APPLICANT/OWNER
ROBIN SULLIVAN
8 WHITTAKER DRIVE
STRATHAM, NH 03885
BK 4199 PG 2969

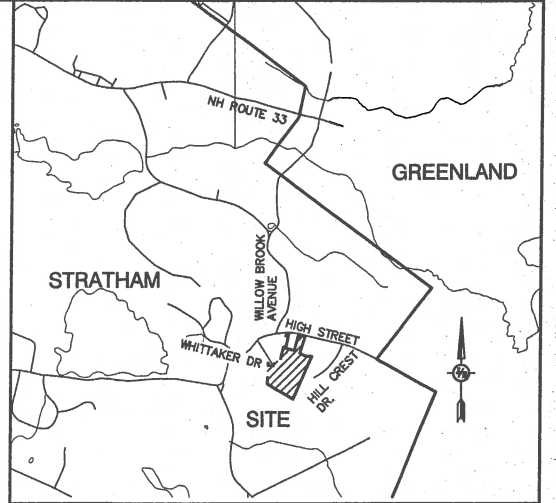
TOTAL LOT AREA
14.98 ACRES

DATE:



REFERENCE PLANS:

- MINOR SUBDIVISION OF LAND, HIGH STREET, STRATHAM, NEW HAMPSHIRE, FOR TERRA REALTY TRUST, DATED 3/1/1995, REVISED 2/29/1996, RCRD PLAN # D-24555.
- SUBDIVISION OF LAND FOR V.E.T. DEVELOPMENT, STRATHAM, NH DATED 8/3/1987, REVISED 10/16/1987, RCRD PLAN # D-17330.
- FINAL SUBDIVISION PLAN, HILLCREST DRIVE SUBDIVISION, STRATHAM, NH DATED 11/25/1986, REVISED 12/3/1986, RCRD PLAN # D-15868.
- PEAR TREE, STRATHAM, NEW HAMPSHIRE, SUBDIVISION PLAN DATED 6/8/1989, REVISED. 7/28/1989, RCRD PLAN # D-19852.



EXISTING CONDITIONS NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC. NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 1-888-DIG-SAFE (1-888-344-7233).
- HORIZONTAL DATUM: NAD 1983 ESTABLISHED BY SURVEY GRADE GPS OBSERVATION AND NGS "OPUS" SOLUTION. REFERENCE FRAME: NAD83 (2011) (EPOCH: 2010.0000), US SURVEY FOOT. VERTICAL DATUM: NAVD 1988. PRIMARY BENCHMARK: NH02 345-0070.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 330150285E, DATED MAY 17, 2005.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY CHRISTOPHER ALBERT OF JONES & BEACH ENGINEERS, INC., DURING WINTER, 2016, IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 - THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 - THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 - THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 - THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- HIGH INTENSITY SOIL MAPPING WAS PERFORMED BY LUKE HURLEY OF GOVE ENVIRONMENTAL SERVICES DURING FEBRUARY, 2017, TO THE STANDARDS OF HIGH INTENSITY SOIL MAPS FOR NEW HAMPSHIRE. STANDARDS (2002): SOCIETY OF SOIL SCIENTISTS OF NORTHERN NEW ENGLAND.
- TEST PITS PERFORMED BY CHRISTOPHER ALBERT AND GIFFORD COLBURN, JONES & BEACH ENGINEERS, INC. ON 7/17/13, 4/20/16, 12/14/16 AND 12/27/16, WITNESSED BY MICHAEL CUOMO, ROCKINGHAM COUNTY CONSERVATION DISTRICT, INSPECTOR.
 - TBM "A": LARGE SPIKE SET IN UTILITY POLE 1.0' ABOVE GROUND ELEVATION= 111.44
 - TBM "B": LARGE SPIKE SET IN UTILITY POLE 1.0' ABOVE GROUND ELEVATION= 120.50
 - TBM "C": SURVEY NAIL SET 1.0' ABOVE GROUND IN BASE OF 18" OAK ELEVATION= 85.08
 - TBM "D": SURVEY NAIL SET 1.0' ABOVE GROUND IN 10" CHERRY ELEVATION= 102.37
- WETLAND BOUNDARIES AND CONSTRUCTION LIMITS ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION.

BOUNDARY CURVE TABLE			
CURVE	ARC LENGTH	RADIUS	ANGLE
C1	154.38	80.00	147°24'03"
C2	156.06	80.00	153°51'52"

BOUNDARY LINE TABLE			
LINE	BEARING	DISTANCE	STATION
L1	N 50°07'21" W	128.78	1+00.00
L2	N 60°57'17" W	29.77	1+29.77
L3	N 59°32'42" W	45.60	1+75.37
L4	N 62°25'48" W	62.58	1+137.95
L5	N 60°57'42" W	66.30	1+204.25
L6	N 60°07'37" W	101.91	1+306.16
L7	N 58°22'08" W	192.48	1+498.64
L8	N 01°49'28" E	436.94	1+935.58
L9	S 77°43'01" E	43.93	2+039.51
L10	S 89°28'03" E	143.54	2+183.05
L11	N 12°21'12" E	811.45	3+034.50
L12	S 82°39'41" E	50.12	3+084.62
L13	S 12°21'17" W	324.04	3+408.66
L14	S 77°48'53" E	191.08	3+609.74
L15	N 14°41'22" E	333.05	3+942.79
L16	S 77°28'18" E	150.97	4+103.76
L17	S 18°37'14" W	2.00	4+105.76
L18	S 18°37'14" W	344.78	4+450.54
L19	S 63°09'28" E	128.61	4+579.15
L20	S 86°04'20" E	143.87	4+723.02
L21	N 24°10'28" W	53.26	4+776.28
L22	S 24°03'44" W	928.79	5+705.07
L23	N 71°31'25" W	54.42	5+759.49
L24	S 89°28'20" E	112.45	5+871.94
L25	N 12°31'28" E	51.19	5+923.13

SOIL LEGEND	
311	311 DEERFIELD HSG B
343	343 ELDRIDGE HSG C
443	443 ELDRIDGE VARIANT HSG C
511	548/P WALPOLE
543	656 RIDGEBURY HSG C

PROJECT PARCEL
TOWN OF STRATHAM, NH
MAP 19, LOT 68

APPLICANT/OWNER
ROBIN SULLIVAN
8 WHITTAKER DRIVE
STRATHAM, NH 03885
BK 4199 PG 2969

TOTAL LOT AREA
14.99 ACRES

Design: JSR Draft: PLB Date: 6/26/13
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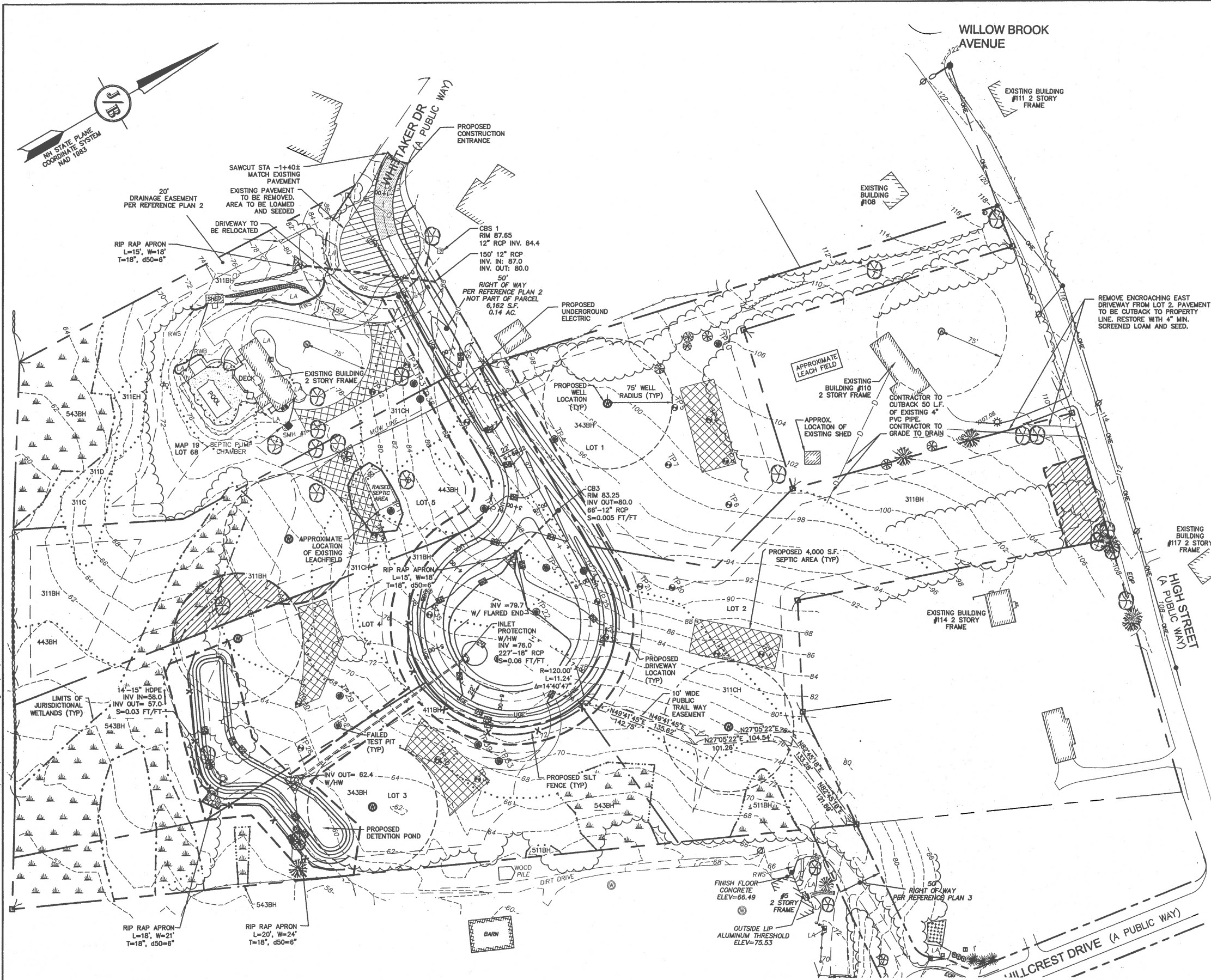
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Civil Engineering Services
85 Portsmouth Ave. PO Box 218 Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EXISTING CONDITIONS PLAN
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

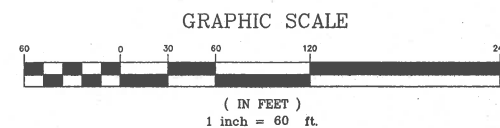
DRAWING No.
C1
SHEET 3 OF 8
JBE PROJECT NO. 13070.1

3:\13070-STRATHAM-112-HIGH STREET-SULLIVAN.DWG\13070-PLAN.dwg 3/15/2018 1:02:43 PM EDT



GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC H20 LOADING AND SHALL BE INSTALLED ACCORDINGLY.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- ALL DRAINAGE PIPE SHALL BE NON-PERFORATED ADS N-12 OR APPROVED EQUAL.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.25" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- EACH NEW LOT SHALL HAVE A STONE DRIP EDGE AROUND EACH HOUSE, AND A RAIN GARDEN AT DRIVEWAY LOW POINT. SEE DETAILS ON SHEET D2. THESE FEATURES SHALL BE SHOWN ON THE SUBSURFACE EFFLUENT DISPOSAL SYSTEM PLAN PREPARED FOR EACH LOT PRIOR TO ISSUANCE OF A BUILDING PERMIT.

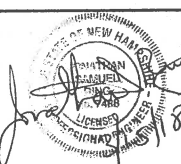


PROJECT PARCEL
TOWN OF STRATHAM, NH
MAP 19, LOT 68

APPLICANT/OWNER
ROBIN SULLIVAN
8 WHITTAKER DRIVE
STRATHAM, NH 03885
BK 4199 PG 2969

TOTAL LOT AREA
14.99 ACRES

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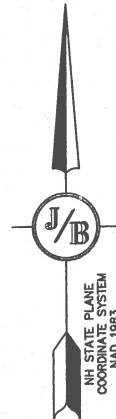
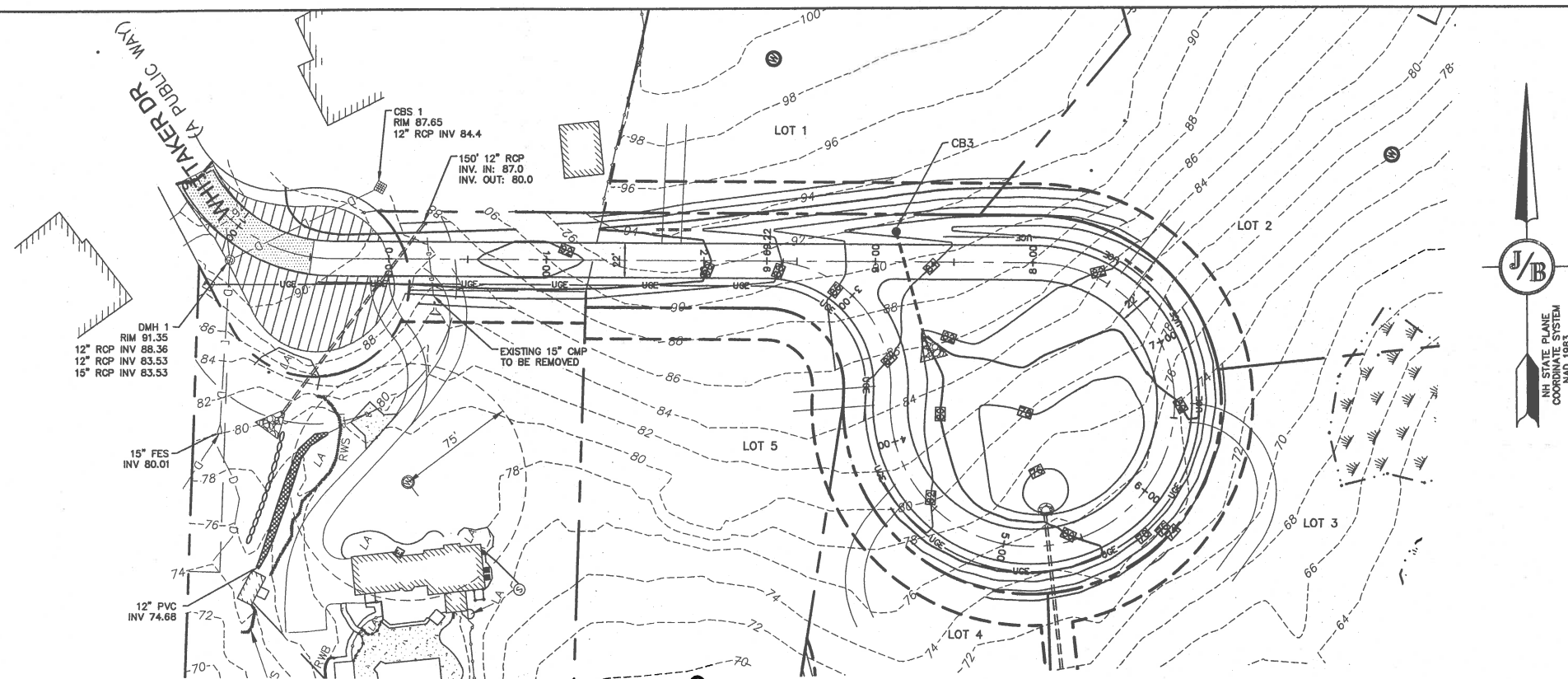


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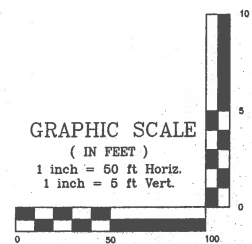
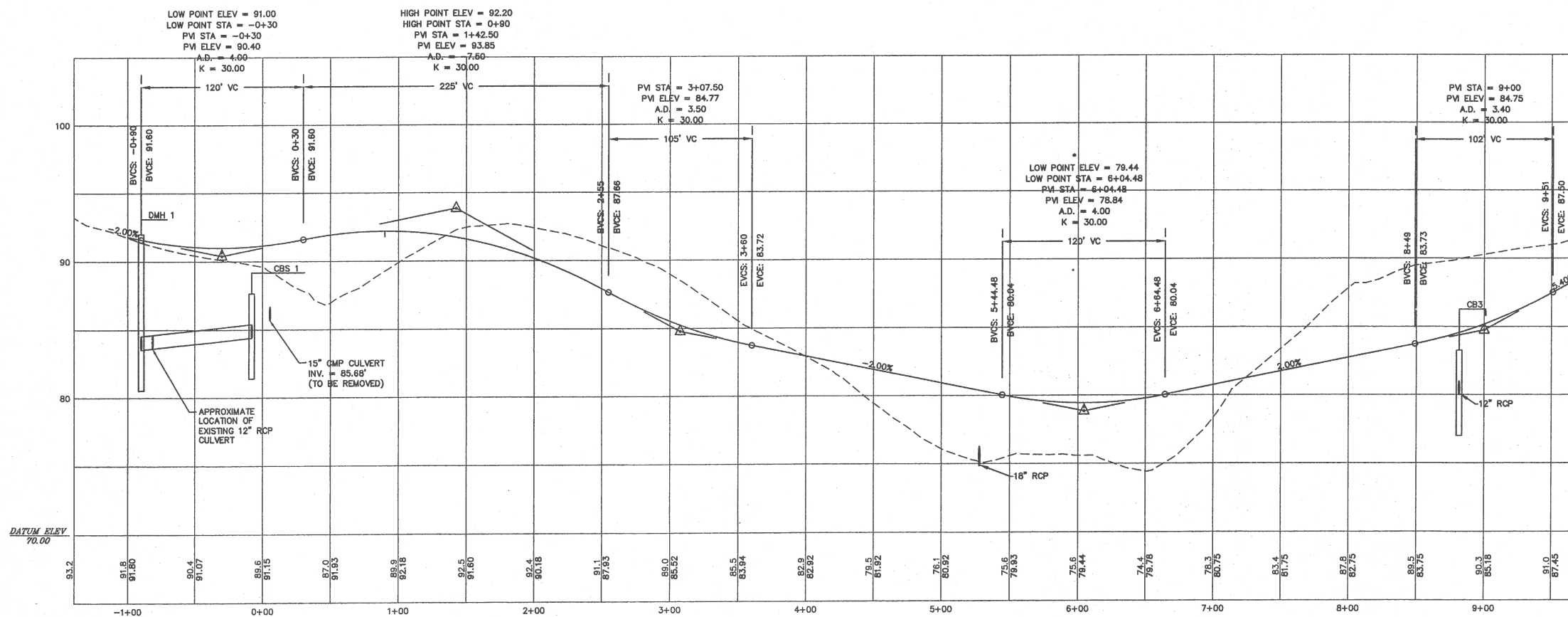
Plan Name: **GRADING AND DRAINAGE PLAN**
Project: **SULLIVAN SUBDIVISION
8 WHITTAKER DRIVE, STRATHAM, NH 03885**
Owner of Record: **ROBIN SULLIVAN
8 WHITTAKER DRIVE, STRATHAM, NH 03885**

DRAWING No.
C2
SHEET 4 OF 8
JBE PROJECT NO. 13070.1



NOTES:

1. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE CONSTRUCTION SITE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND BE MADE ACCESSIBLE TO THE PUBLIC. THE CONSTRUCTION SITE OPERATOR SHALL SUBMIT A NOTICE OF INTENT (NOI) TO THE EPA REGIONAL OFFICE SEVEN DAYS PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. EPA WILL POST THE NOI AT [HTTP://CFPUB1.EPA.GOV/NPDES/STORMWATER/NOI/NOISEARCH.CFM](http://cfpub1.epa.gov/npdes/stormwater/NOI/NOISEARCH.CFM). AUTHORIZATION IS GRANTED UNDER THE PERMIT ONCE THE NOI IS SHOWN IN "ACTIVE" STATUS ON THIS WEBSITE. A COMPLETED NOTICE OF TERMINATION SHALL BE SUBMITTED TO THE NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET:
 - A. FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR
 - B. ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED. PROVIDE DPW WITH A COPY OF THE NOTICE OF TERMINATION (NOT).
2. ALL ROAD AND DRAINAGE WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR THE TOWN, AND NHDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
3. AS-BUILT PLANS TO BE SUBMITTED TO THE TOWN PRIOR TO ACCEPTANCE OF THE ROADWAY.
4. DEVELOPER IS RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING ANY PERMITTING AND SETBACK REQUIREMENTS REQUIRED UNDER THESE REGULATIONS.
5. CONTRACTOR TO COORDINATE AND COMPLETE ALL WORK REQUIRED FOR THE RELOCATION AND/OR INSTALLATION OF ELECTRIC, CATV AND TELEPHONE PER UTILITY DESIGN AND STANDARDS. LOCATIONS SHOWN ARE APPROXIMATE. LOW PROFILE STRUCTURES SHALL BE USED TO THE GREATEST EXTENT POSSIBLE.
6. THIS PLAN HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA SHOWN ON THIS PLAN. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
7. SILTATION AND EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN UNTIL SITE HAS BEEN STABILIZED WITH PERMANENT VEGETATION. SEE DETAIL SHEET E1 FOR ADDITIONAL NOTES ON EROSION CONTROL.
8. ALL DISTURBED AREAS NOT STABILIZED BY NOVEMBER 1st SHALL BE COVERED WITH AN EROSION CONTROL BLANKET. PRODUCT TO BE SPECIFIED BY THE ENGINEER.
9. FINAL DRAINAGE, GRADING AND EROSION PROTECTION MEASURES SHALL CONFORM TO REGULATIONS OF THE PUBLIC WORKS DEPARTMENT.
10. CONTRACTOR TO VERIFY EXISTING UTILITIES AND TO NOTIFY ENGINEER OF ANY DISCREPANCY IMMEDIATELY.
11. 6" PERFORATED ADS UNDER DRAIN PLACEMENT TO BE DETERMINED BY THE ENGINEER DURING TIME OF SUBGRADE INSPECTION. CONTRACTOR TO ADJUST LOCATION IN THE FIELD ONLY WITH PRIOR APPROVAL OF PROJECT ENGINEER OR PUBLIC WORKS DEPARTMENT. CONTRACTOR TO INCLUDE 1000 LF IN BID PRICE.
12. ALL DRIVEWAYS TO BE CONSTRUCTED MAXIMUM 10% SLOPE. SEE DETAIL SHEET. ALL DRIVEWAYS TO HAVE CULVERTS UNLESS APPROVED BY THE TOWN ROAD AGENT.
13. DRAINAGE INSPECTION AND MAINTENANCE SCHEDULE: SILT FENCING WILL BE INSPECTED DURING AND AFTER STORM EVENTS TO ENSURE THAT THE FENCE STILL HAS INTEGRITY AND IS NOT ALLOWING SEDIMENT TO PASS. SEDIMENT BUILD UP IN SWALES WILL BE REMOVED IF IT IS DEEPER THAN SIX INCHES, AND IS TO BE REMOVED FROM SUMPS BEFORE THE INLET OF CULVERTS SEMIANNUALLY, AS WELL AS FROM CATCH BASINS.
14. ALL DRAINAGE INFRASTRUCTURE SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING ANY RUNOFF TO IT.
15. DETENTION PONDS REQUIRE TIMELY MAINTENANCE AND SHOULD BE INSPECTED AFTER EVERY MAJOR STORM EVENT, AS WELL AS FREQUENTLY DURING THE FIRST YEAR OF OPERATION, AND ANNUALLY THEREAFTER. EVERY FIVE YEARS, THE SERVICES OF A PROFESSIONAL ENGINEER SHOULD BE RETAINED TO PERFORM A THOROUGH INSPECTION OF THE DETENTION POND AND ITS INFRASTRUCTURE. ANY DEBRIS AND SEDIMENT ACCUMULATIONS SHOULD BE REMOVED FROM THE OUTLET STRUCTURE(S) AND EMERGENCY SPILLWAY(S) AND DISPOSED OF PROPERLY. DETENTION POND BERMS SHOULD BE MOWED AT LEAST ONCE ANNUALLY SO AS TO PREVENT THE ESTABLISHMENT OF WOODY VEGETATION. TREES SHOULD NEVER BE ALLOWED TO GROW ON A DETENTION POND BERM, AS THEY MAY DESTABILIZE THE STRUCTURE AND INCREASE THE POTENTIAL FOR FAILURE. AREAS SHOWING SIGNS OF EROSION OR THIN OR DYING VEGETATION SHOULD BE REPAIRED IMMEDIATELY BY WHATEVER MEANS NECESSARY, WITH THE EXCEPTION OF FERTILIZER. RODENT BORROWS SHOULD BE REPAIRED IMMEDIATELY AND THE ANIMALS SHOULD BE TRAPPED AND RELOCATED IF THE PROBLEM PERSISTS.
16. THE DETENTION PONDS ARE TO BE CONSTRUCTED PRIMARILY THROUGH EXCAVATION. IN THOSE AREAS WHERE THE BERMS MUST BE CONSTRUCTED BY THE PLACEMENT OF FILL, THE ENTIRE EMBANKMENT AREA OF THE DETENTION PONDS SHALL BE EXCAVATED TO PROPOSED GRADE, STRIPPED OF ALL ORGANIC MATERIALS, COMPACTED TO AT LEAST 95% AND SCARIFIED PRIOR TO THE PLACEMENT OF THE EMBANKMENT MATERIAL. IN THE EVENT THE FOUNDATION MATERIAL EXPOSED DOES NOT ALLOW THE SPECIFIED COMPACTION, AN ADDITIONAL ONE FOOT (1') OF EXCAVATION AND THE PLACEMENT OF A ONE FOOT (1') THICK, TWELVE FOOT (12') WIDE PAD OF THE MATERIAL OF THE EXISTING ROADWAY NOT BEING COMPACTED TO 95% OF ASTM D-1557 MAY BE NECESSARY. PLACEMENT AND COMPACTION SHOULD OCCUR AT A MOISTURE CONTENT OF OPTIMUM PLUS OR MINUS 3%, AND NO FROZEN OR ORGANIC MATERIAL SHOULD BE PLACED WITHIN FOR ANY REASON.
17. COMPACTION TESTING SERVICES (I.E. NUCLEAR DENSITY TESTS) ARE TO BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE CONTRACTOR FOR ROADWAY CONSTRUCTION AND ON EVERY LIFT OF NEWLY PLACED MATERIAL.
18. NO IRRIGATION PIPES OR SPRINKLER HEADS SHALL BE LOCATED WITHIN TOWN RIGHT OF WAY.
19. EACH NEW LOT SHALL HAVE A STONE DRIP EDGE AROUND EACH HOUSE, AND A RAIN GARDEN AT DRIVEWAY LOW POINT. SEE DETAILS ON SHEET D2. THESE FEATURES SHALL BE SHOWN ON THE SUBSURFACE AND FINISH ELEVATION SYSTEM PLAN PREPARED FOR EACH LOT PRIOR TO ISSUANCE OF A BUILDING PERMIT.



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Drawing Name: 13070-PLAN.dwg		

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7	3/21/18	PLANNING BOARD MEETING	PLB
5	2/14/18	REVISED PER TOWN COMMENTS	PLB
5	12/20/17	REVISED PER PLANNING BOARD	PLB
4	11/16/17	REVISED PER PLANNING BOARD	LAZ
3	10/5/17	REVISED PER PLANNING BOARD	PLB
REV.	DATE	REVISION	BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03865

Civil Engineering Services

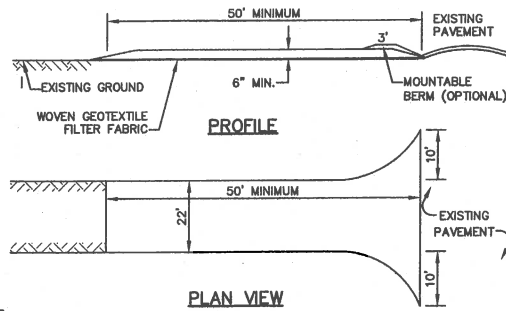
603-772-4746
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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	PLAN AND PROFILE
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

DRAWING No.

P1

SHEET 5 OF 8
JBE PROJECT NO. 13070.1

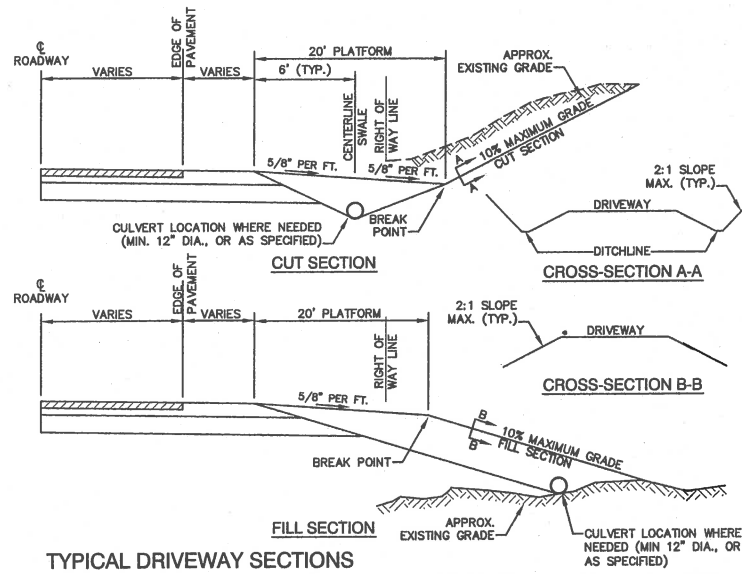


NOTES:

1. STONE FOR STABILIZED CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE, OR RECYCLED CONCRETE EQUIVALENT.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN THE FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS, OR 10 FEET, WHICHEVER IS GREATER.
5. GEOTEXTILE FILTER FABRIC SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE. FILTER FABRIC IS NOT REQUIRED FOR A SINGLE FAMILY RESIDENTIAL LOT.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DIVERTED TOWARD THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A STONE BERM WITH 5:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, WASHED, OR TRACKED ONTO THE PUBLIC RIGHT-OF-WAY MUST BE REMOVED PROMPTLY.

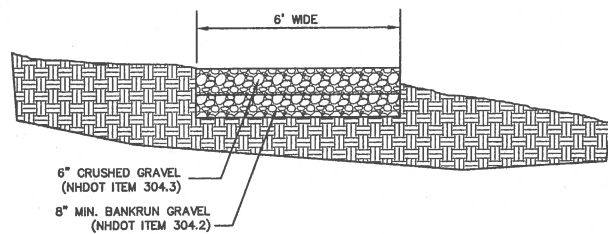
STABILIZED CONSTRUCTION ENTRANCE

NOT TO SCALE



TYPICAL DRIVEWAY SECTIONS

NOT TO SCALE

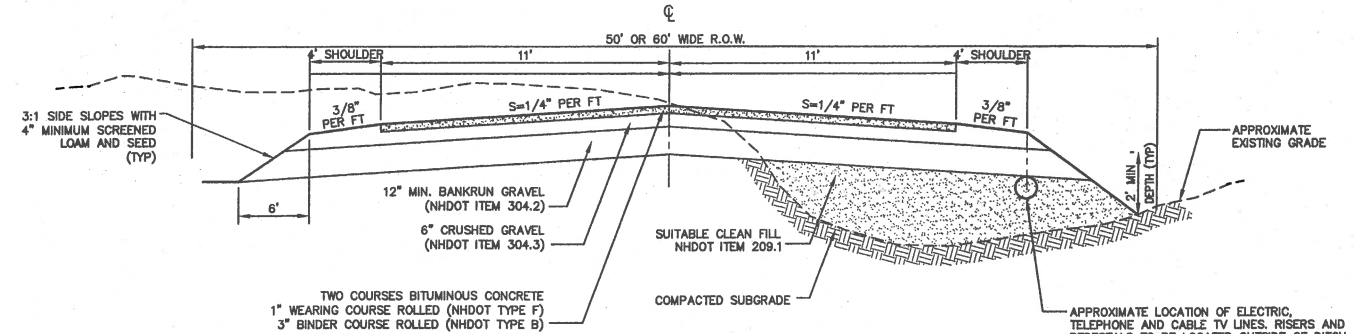


NOTES:

1. TREE LIMBS, DOWNED TREES AND VEGETATION TO BE REMOVED IN ORDER TO PROVIDE A 6' WIDE BY 8' HIGH CLEAR OPENING.
2. TRAIL TO BE FIELD CLEARED BY CONTRACTOR AND DEVELOPER.

TRAIL CROSS SECTION

NOT TO SCALE

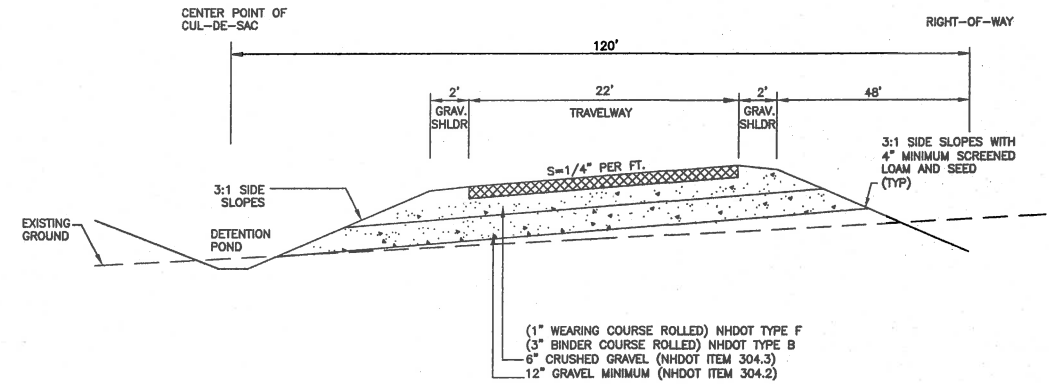


NOTES:

1. REMOVE ALL ORGANICS, TOPSOIL AND MATERIAL YIELDING TO A 10 TON ROLLER. SUBBASE AREAS THAT CONTAIN UNSUITABLE MATERIALS MUST BE EXCAVATED TO A DEPTH NO LESS THAN 36\"/>

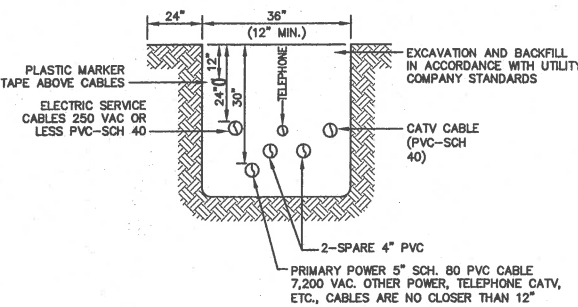
TYPICAL ROADWAY SECTION

NOT TO SCALE



TYPICAL CUL-DE-SAC CROSS SECTION

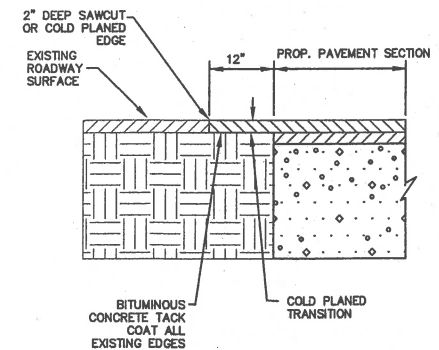
NOT TO SCALE



NOTE: ALL UTILITIES SHALL BE REVIEWED AND APPROVED BY APPROPRIATE UTILITY COMPANY.

UTILITY TRENCH

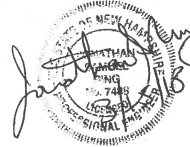
NOT TO SCALE



FULL DEPTH PAVEMENT TRANSITION

NOT TO SCALE

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Plan Name:	DETAIL SHEET
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

DRAWING No.	D1
SHEET 6 OF 8	JBE PROJECT NO. 13070.1

TYPICAL RAIN GARDEN PLANTINGS

BOTANICAL NAME	COMMON NAME	SIZE
PERENNIALS		
"ANNABELLE" HYDRANGEA	HYDRANGEA	1 GAL.
HEMEROCALLIS "STELLA D'ORO"	DAYLILY	1 GAL.
VIORNUM TRILOBUM	AMERICAN CRANBERRY	1 GAL.
AUREA BOWLES' GOLDEN SEDGE	SEDGE GRASS	1 GAL.
SPIREA	BRIDLE VEIL	1 GAL.
DECIDUOUS SHRUBS		
VIORNUM DENTATUM	ARROWWOOD	VIORNUM
ALNUS INCANA	SPECKLED ALDER	
CORNUS STOLONIFERA	REDSIOS DOGWOOD	
VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	
LLEX VERTICILLATA	WINTERBERRY	

SAND SPECIFICATION

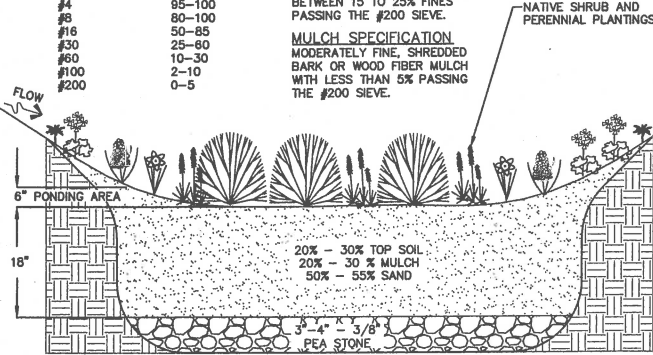
SIEVE SIZE	% BY WEIGHT
#4	100
#10	95-100
#20	80-100
#40	50-85
#60	25-50
#100	10-30
#200	2-10
	0-5

TOPSOIL SPECIFICATION

LOAMY SAND TOPSOIL WITH MINIMAL CLAY CONTENT AND BETWEEN 15 TO 25% FINES PASSING THE #200 SIEVE.

MULCH SPECIFICATION

MODERATELY FINE, SHREDDED BARK OR WOOD FIBER MULCH WITH LESS THAN 5% PASSING THE #200 SIEVE.



DESIGN CONSIDERATIONS

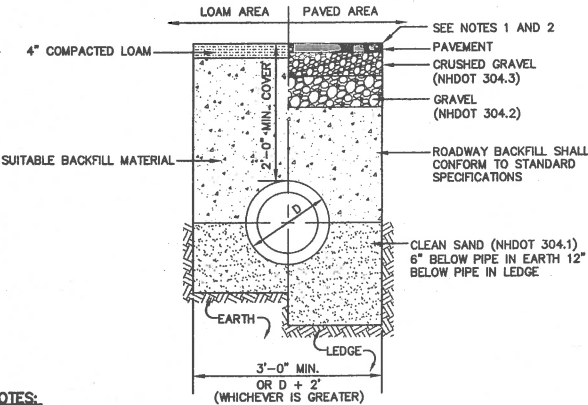
- DO NOT DIRECT RUNOFF TO THE BIOTENTION SYSTEMS UNTIL IT HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIOTENTION AREA DURING ANY STAGE OF CONSTRUCTION.
- DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.
- PLANT LAYOUT WITHIN INDIVIDUAL RAIN GARDENS MAY VARY BETWEEN HOMES HOWEVER ALL RAIN GARDENS ARE TO BE PLANTED FROM EDGE TO EDGE WITH A 1' MAXIMUM SPACING BETWEEN PERENNIALS. LEAVE ENOUGH ROOM BETWEEN SHRUBS FOR FULL GROW-OUT OF EACH SPECIES USED.

MAINTENANCE REQUIREMENTS

- VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.

RAIN GARDEN (with open side and bottom) - HOUSE LOTS

NOT TO SCALE

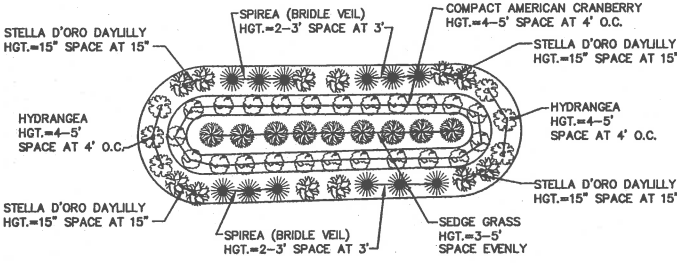


NOTES

- PAVEMENT REPAIR IN EXISTING ROADWAYS SHALL CONFORM TO STREET OPENING REGULATIONS.
- NEW ROADWAY CONSTRUCTION SHALL CONFORM WITH PROJECT AND TOWN SPECIFICATIONS.
- ALL MATERIALS ARE TO BE COMPACTED TO 95% OF ASTM D-1557.

DRAINAGE TRENCH

NOT TO SCALE

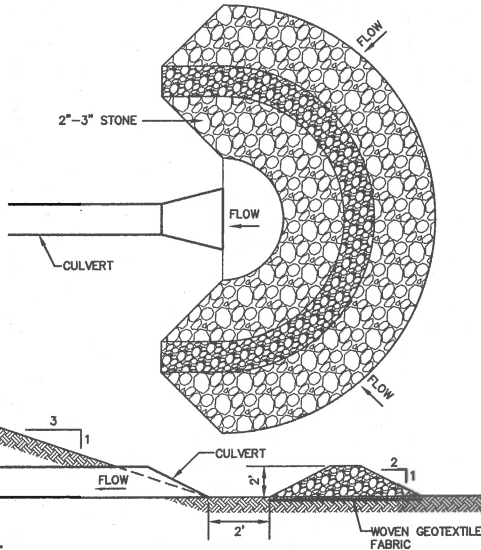


NOTES

- ELEVATIONS VARY BY LOT. CONTRACTOR TO PLACE RAIN GARDENS ON EACH RESIDENTIAL LOT AND PLANT AS SHOWN ABOVE. SHAPE AND DIMENSIONS MAY VARY DEPENDING ON SITE CONDITIONS.
- RAIN GARDENS TO BE 75' MINIMUM FROM SEPTIC SYSTEMS.
- DRIVEWAY RUNOFF SHALL BE DIRECTED INTO PROPOSED RAIN GARDENS TO EXTENT POSSIBLE.
- BOTTOM OF RAIN GARDEN TO BE A MINIMUM 1,000 S.F. SHAPE AND DIMENSIONS MAY VARY DUE TO SITE CONDITIONS.
- VEGETATION WITHIN EACH RAIN GARDEN MUST BE STABILIZED WITH GROWTH PRIOR TO DIRECTING RUNOFF INTO THE RAIN GARDEN.
- EACH NEW LOT SHALL HAVE A STONE DRIP EDGE AROUND EACH HOUSE, AND A RAIN GARDEN AT DRIVEWAY LOW POINT. SEE DETAILS ON THIS SHEET. THESE FEATURES SHALL BE SHOWN ON THE SUBSURFACE EFFLUENT DISPOSAL SYSTEM PLAN PREPARED FOR EACH LOT PRIOR TO ISSUANCE OF A BUILDING PERMIT.

TYPICAL RAIN GARDEN PLANTINGS - HOUSE LOTS

NOT TO SCALE

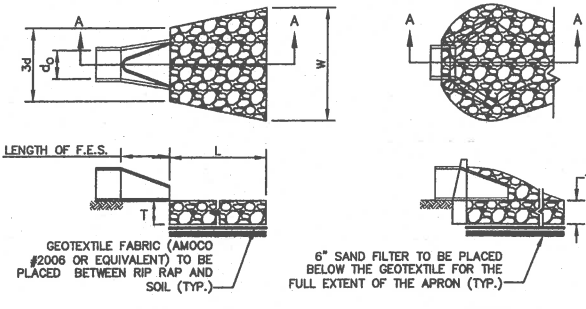


NOTES

- TEMPORARY CULVERT INLET PROTECTION CHECK DAMS SHALL BE CONSTRUCTED OF 2-3" STONE OVER WOVEN GEOTEXTILE FABRIC.
- INLET PROTECTION MEASURES SHALL BE INSTALLED AT THE OPENINGS OF ALL EXISTING AND PROPOSED CULVERTS LOCATED BELOW (DOWNSTREAM) FROM AND WITHIN 100' OF THE PROJECT SITE.
- SEDIMENT SHALL BE REMOVED FROM BEHIND THE STRUCTURE WHEN IT HAS ACCUMULATED TO ONE HALF THE ORIGINAL HEIGHT OF THE STRUCTURE.
- STRUCTURES SHALL BE REMOVED WHEN THE SITE IS STABILIZED WITH VEGETATION AND THE CHANNEL SHALL BE SMOOTHED AND REVEGETATED.

TEMPORARY CULVERT INLET PROTECTION CHECK DAM

NOT TO SCALE



SECTION A-A

PIPE OUTLET TO FLAT AREA WITH NO DEFINED CHANNEL

SECTION A-A

PIPE OUTLET TO WELL-DEFINED CHANNEL

TABLE 7-24--RECOMMENDED RIP RAP GRADATION RANGES

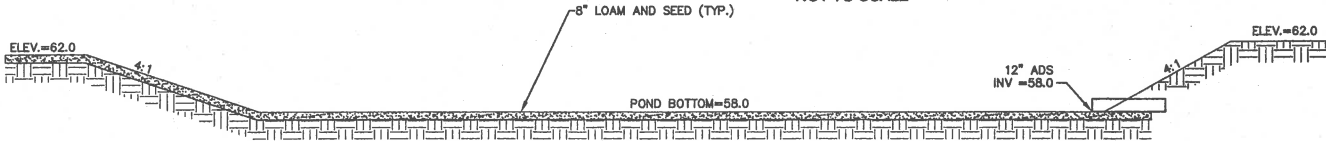
THICKNESS OF RIP RAP = 1.0 FEET		
d50 SIZE=	0.5 FEET	6 INCHES
% OF WEIGHT SMALLER THAN THE GIVEN d50 SIZE	SIZE OF STONE (INCHES) FROM TO	
100%	9	12
85%	8	11
50%	6	9
15%	2	3

NOTES

- THE SUBGRADE FOR THE GEOTEXTILE FABRIC AND RIP RAP SHALL BE PREPARED TO THE LINES AND GRADES SHOWN ON THE PLANS.
- THE RIP RAP SHALL CONFORM TO THE SPECIFIED GRADATION.
- GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.
- STONE FOR THE RIP RAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.
- OUTLETS TO A DEFINED CHANNEL SHALL HAVE 2:1 OR FLATTER SIDE SLOPES AND SHOULD BEGIN AT THE TOP OF THE CULVERT AND TAPER DOWN TO THE CHANNEL BOTTOM THROUGH THE LENGTH OF THE APRON.
- MAINTENANCE: THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM. IF THE RIP RAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO OUTLET PROTECTION.

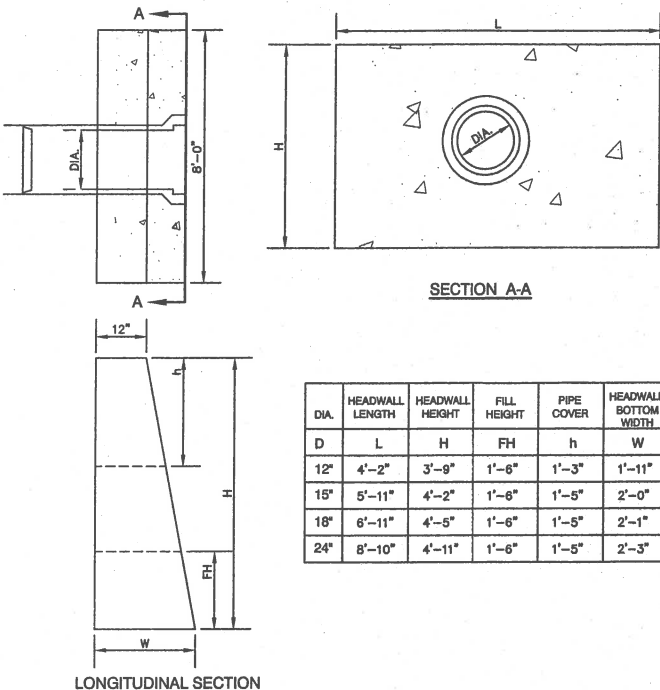
RIP RAP OUTLET PROTECTION APRON

NOT TO SCALE



DETENTION POND SYSTEM SECTION

NOT TO SCALE



SECTION A-A

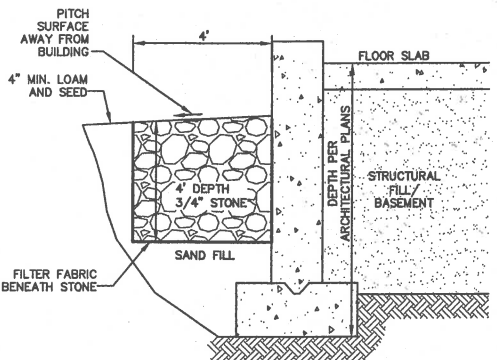
DIA.	HEADWALL LENGTH	HEADWALL HEIGHT	FILL HEIGHT	PIPE COVER	HEADWALL BOTTOM WIDTH
12"	4'-2"	3'-9"	1'-6"	1'-3"	1'-11"
15"	5'-11"	4'-2"	1'-6"	1'-5"	2'-0"
18"	6'-11"	4'-5"	1'-6"	1'-5"	2'-1"
24"	8'-10"	4'-11"	1'-6"	1'-5"	2'-3"

NOTES

- ALL DIMENSIONS GIVEN IN FEET & INCHES.
- PROVIDE BELL END AT INLET HEADWALL, AND SPIGOT END AT OUTLET END HEADWALL.
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS. CEMENT TO BE TYPE III PER ASTM C-150. REINFORCING TO MEET OR EXCEED ASTM A-615 GRADE 60 DEFORMED BARS.
- 1" THREADED INSERTS PROVIDED FOR FINAL ATTACHMENT IN FIELD BY OTHERS.

PRECAST CONCRETE HEADWALL

NOT TO SCALE



NOTES

- EACH NEW LOT SHALL HAVE A STONE DRIP EDGE AROUND EACH HOUSE, AND A RAIN GARDEN AT DRIVEWAY LOW POINT. SEE THIS DETAIL. THESE FEATURES SHALL BE SHOWN ON THE SUBSURFACE EFFLUENT DISPOSAL SYSTEM PLAN PREPARED FOR EACH LOT PRIOR TO ISSUANCE OF A BUILDING PERMIT.

STONE DRIP EDGE DETAIL - HOUSE LOTS

NOT TO SCALE

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Checked: JSR	Scale: AS NOTED	Project No.: 13070.1
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3	10/5/17	REVISED PER PLANNING BOARD	PLB
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E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

DRAWING No.	D2
SHEET 7 OF 8	JBE PROJECT NO. 13070.1

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SEEDING SPECIFICATIONS

1. GRADING AND SHAPING

- SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
- WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.

2. SEEDBED PREPARATION

- SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
- STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.

3. ESTABLISHING A STAND

- LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
- SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
- REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
- WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.

4. MULCH

- HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
- MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.

5. MAINTENANCE TO ESTABLISH A STAND

- PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
- FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
- IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	30	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

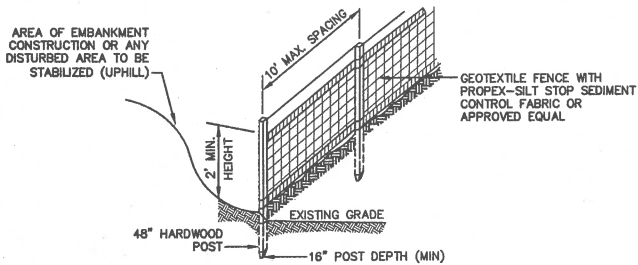
SEEDING RATES

TEMPORARY EROSION CONTROL NOTES

- THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
- EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
- ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOADED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
- SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.25" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
- AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
- AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
- ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
- ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
- AFTER NOVEMBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
- AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
 - BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- FLIGHTIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.
- PRIOR TO CONSTRUCTION, A PHASING PLAN THAT DELINEATES EACH PHASE OF THE PROJECT SHALL BE SUBMITTED. ALL TEMPORARY SEDIMENT BASINS THAT WILL BE NEEDED FOR DEWATERING WORK AREAS SHALL BE LOCATED AND IDENTIFIED ON THIS PLAN.

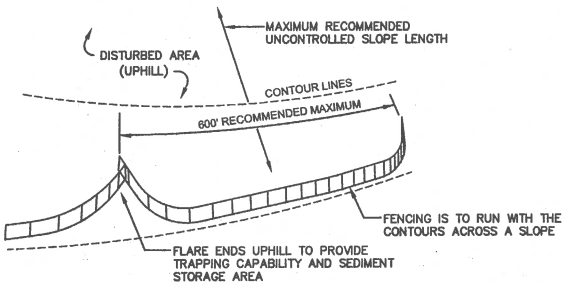
CONSTRUCTION SEQUENCE

- PRIOR TO THE START OF ANY ACTIVITY, IT IS THE RESPONSIBILITY OF THE SITE'S SITE DEVELOPER (OR OWNER) TO FILE A NOTICE OF INTENT (NOI) FORM WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) IN ORDER TO GAIN COVERAGE UNDER THE NPDES GENERAL PERMIT FOR STORM WATER DISCHARGES FROM CONSTRUCTION ACTIVITIES. A PRE CONSTRUCTION MEETING IS TO BE HELD WITH ALL DEPARTMENT HEADS PRIOR TO THE START OF CONSTRUCTION.
- WETLAND BOUNDARIES ARE TO BE CLEARLY MARKED PRIOR TO THE START OF CONSTRUCTION. AT LEAST A TEMPORARY CULVERT OR ROADBED TO BE IN PLACE PRIOR TO THE START OF CONSTRUCTION.
- CUT AND REMOVE TREES IN CONSTRUCTION AREA AS REQUIRED OR DIRECTED.
- INSTALL SILT FENCING, HAY BALES AND CONSTRUCTION ENTRANCES PRIOR TO THE START OF CONSTRUCTION. THESE ARE TO BE MAINTAINED UNTIL THE FINAL PAVEMENT SURFACING AND LANDSCAPING AREAS ARE ESTABLISHED.
- CLEAR, CUT, GRUB AND DISPOSE OF DEBRIS IN APPROVED FACILITIES. THIS INCLUDES ANY REQUIRED DEMOLITION OF EXISTING STRUCTURES, UTILITIES, ETC.
- CONSTRUCT AND/OR INSTALL TEMPORARY OR PERMANENT SEDIMENT AND/OR DETENTION BASIN(S) AS REQUIRED. THESE FACILITIES SHALL BE INSTALLED AND STABILIZED PRIOR TO DIRECTING RUN-OFF TO THEM.
- STRIP LOAM AND PAVEMENT, OR RECLAIM EXISTING PAVEMENT WITHIN LIMITS OF WORK PER THE RECOMMENDATIONS OF THE PROJECT ENGINEER AND STOCKPILE EXCESS MATERIAL. STABILIZE STOCKPILE AS NECESSARY.
- PERFORM PRELIMINARY SITE GRADING IN ACCORDANCE WITH THE PLANS.
- PREPARE BUILDING PAD(S) TO ENABLE BUILDING CONSTRUCTION TO BEGIN.
- INSTALL THE DRAINAGE SYSTEMS FIRST, THEN ANY OTHER UTILITIES IN ACCORDANCE WITH THE PLAN AND DETAILS. ANY CONFLICTS BETWEEN UTILITIES ARE TO BE RESOLVED WITH THE INVOLVEMENT AND APPROVAL OF THE ENGINEER.
- ALL SWALES AND DRAINAGE STRUCTURES ARE TO BE CONSTRUCTED AND STABILIZED PRIOR TO HAVING RUN-OFF DIRECTED TO THEM.
- STORMWATER FLOWS ARE NOT TO BE DIRECTED TO TREATMENT PRACTICES UNTIL ALL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
- DAILY, OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DRAINAGE DITCHES, CHECK DAMS, SEDIMENT TRAPS, ETC., TO PREVENT EROSION ON THE SITE AND PREVENT ANY SILTATION OF ADJUTING WATERS AND/OR PROPERTY.
- PERFORM FINAL FINE GRADING, INCLUDING PLACEMENT OF 'SELECT' SUBGRADE MATERIALS.
- PAVE ALL ROADWAYS WITH INITIAL 'BASE COURSE'.
- PERFORM ALL REMAINING SITE CONSTRUCTION (I.e. BUILDING, UTILITY CONNECTIONS, ETC.).
- LOAM AND SEED ALL DISTURBED AREAS AND INSTALL ANY REQUIRED SEDIMENT AND EROSION CONTROL FACILITIES (I.e. RIP RAP, EROSION CONTROL BLANKETS, ETC.).
- FINISH PAVING ALL ROADWAYS WITH 'FINISH' COURSE.
- ALL ROADWAYS SHALL BE STABILIZED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- ALL CUT AND FILL SLOPES SHALL BE SEEDED/LOADED WITHIN 72 HOURS OF ACHIEVING FINISHED GRADE.
- COMPLETE PERMANENT SEEDING AND LANDSCAPING.
- REMOVE TEMPORARY EROSION CONTROL MEASURES AFTER SEEDING AREAS HAVE BEEN 75%-85% ESTABLISHED AND SITE IMPROVEMENTS ARE COMPLETE. SMOOTH AND RE-VEGETATE ALL DISTURBED AREAS.
- CLEAN SITE AND ALL DRAINAGE STRUCTURES, PIPES AND SUMPS OF ALL SILT AND DEBRIS.
- INSTALL ALL PAINTED PAVEMENT MARKINGS AND SIGNAGE PER THE PLANS AND DETAILS.
- ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY AND AFTER EVERY QUARTER-INCH OF RAINFALL.
- UPON COMPLETION OF CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY RELEVANT PERMITTING AGENCIES THAT THE CONSTRUCTION HAS BEEN FINISHED IN A SATISFACTORY MANNER.



CONSTRUCTION SPECIFICATIONS:

- WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
- THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
- PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.



- SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

- SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
- IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
- SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
- SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SILT FENCE

NOT TO SCALE

Design: JSR	Draft: PLB	Date: 6/26/13
Checked: JSR	Scale: AS NOTED	Project No.: 13070.1
Drawing Name: 13070-PLAN.dwg		

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REV.	DATE	REVISION	BY
7	3/21/18	PLANNING BOARD MEETING	PLB
6	2/14/18	REVISED PER TOWN COMMENTS	PLB
5	12/20/17	REVISED PER PLANNING BOARD	PLB
4	11/16/17	REVISED PER PLANNING BOARD	LAZ
3	10/5/17	REVISED PER PLANNING BOARD	PLB
REV.	DATE	REVISION	BY

Designed and Produced in NH

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Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	SULLIVAN SUBDIVISION 8 WHITTAKER DRIVE, STRATHAM, NH 03885
Owner of Record:	ROBIN SULLIVAN 8 WHITTAKER DRIVE, STRATHAM, NH 03885

Drawing No.	E1
SHEET 8 OF 8	JBE PROJECT NO. 13070.1