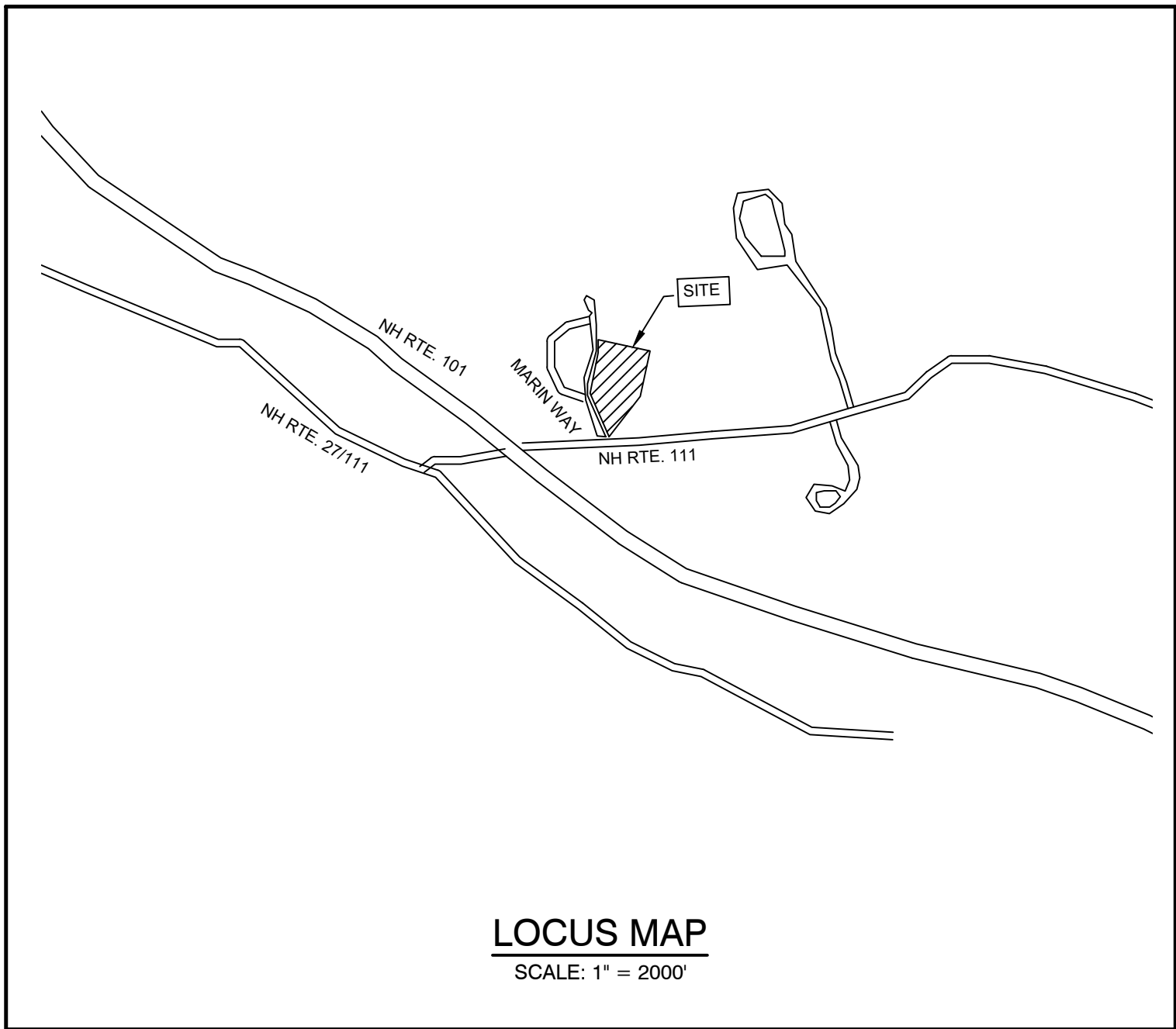


SITE PLAN
PARKING LOT EXPANSION
2 & 8 MARIN WAY, STRATHAM, NH
TAX MAP 1, LOTS 9 & 10



SHEET INDEX

CS	COVER SHEET
A1-A2	EASEMENT PLAN
DM1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
D1-D2	DETAIL SHEET
E1	EROSION AND SEDIMENT CONTROL DETAILS

ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7
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DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

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BOSTON, MA 02110
5690/1565 (02/05/16)

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3265/568 (01/29/98)

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NORTH HAMPTON ABUTTERS:
10/3 & 5
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287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4
TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8
FOUR FIELDS, LLC
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NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:
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HAMPTON CONSERVATION COMMISSION
100 MINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1
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71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT
7 HAZEN DR
CONCORD, NH 03302

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

APPROVED - STRATHAM, NH
PLANNING BOARD

DATE:

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCING
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	TBM
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/WINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION

---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

CIVIL ENGINEER
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI

Design: JAC	Draft: DJM	Date: 4/23/20
Checked: JAC	Scale: AS SHOWN	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

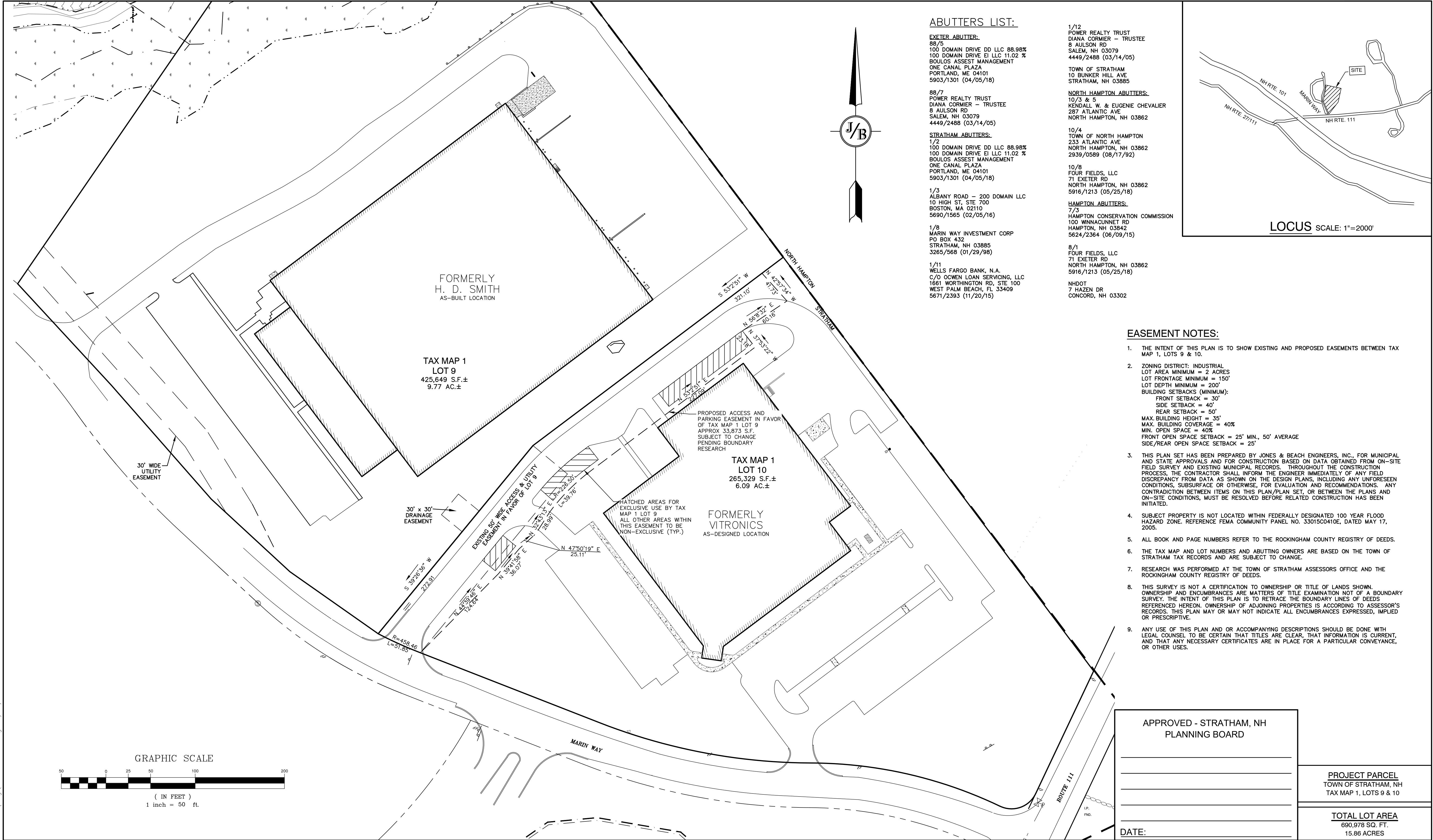
J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
603-772-4746 FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Client:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.	CS
SHEET 1 OF 12	JBE PROJECT NO. 19226

W:\19226 STRATHAM - 8 MARIN WAY - REALTY ACQ\DWG\05063-PLAN.dwg 4/21/2020 11:25:17 AM EDT

SITE PLAN, MARIN WAY, STRATHAM, NH
JBE # 19226
REVISION 1/2/20



ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
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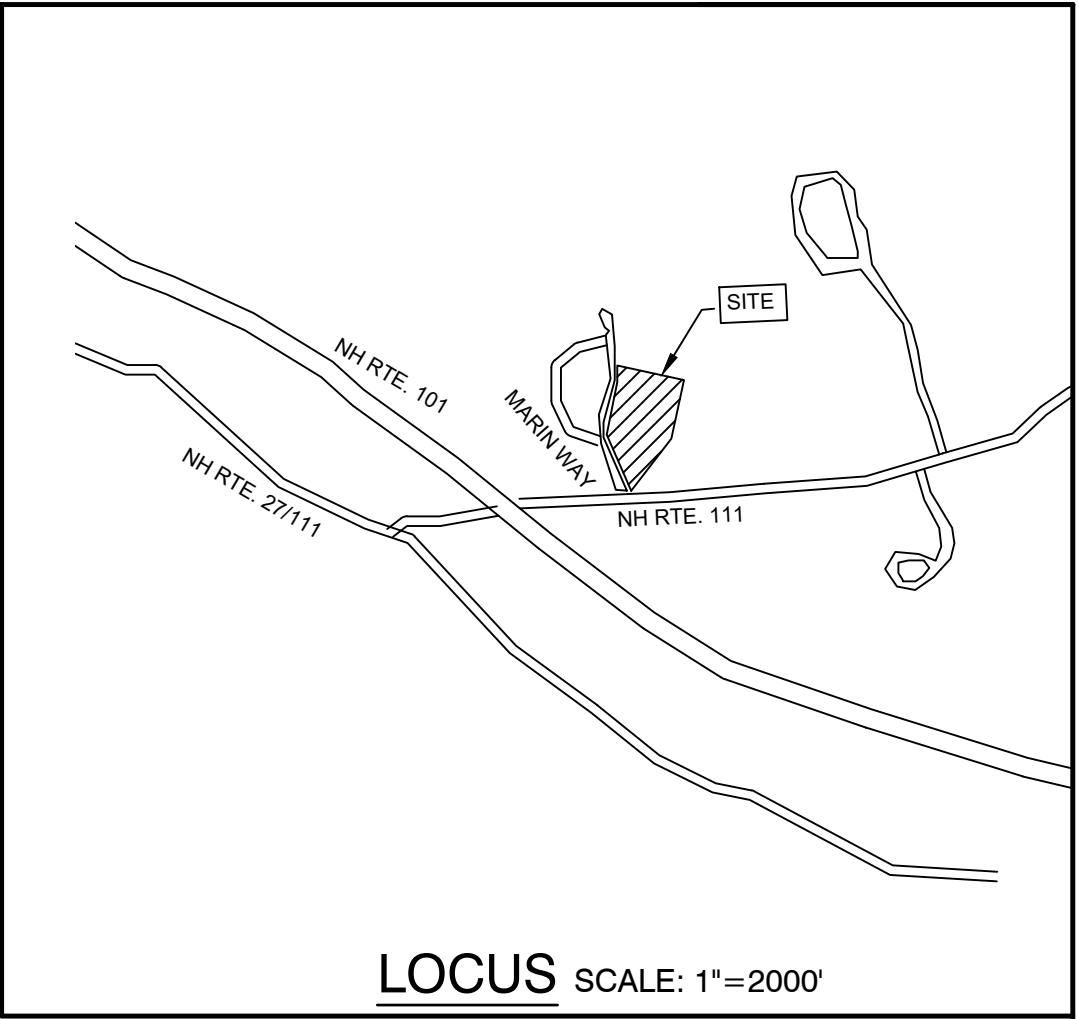
10/4
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2939/0589 (08/17/92)

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NHDOT
7 HAZEN DR
CONCORD, NH 03302



EASEMENT NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW EXISTING AND PROPOSED EASEMENTS BETWEEN TAX MAP 1, LOTS 9 & 10.
- ZONING DISTRICT: INDUSTRIAL
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 40'
REAR SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 40%
MIN. OPEN SPACE = 40%
FRONT OPEN SPACE SETBACK = 25' MIN., 50' AVERAGE
SIDE/REAR OPEN SPACE SETBACK = 25'
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC. FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
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APPROVED - STRATHAM, NH PLANNING BOARD	

DATE: _____	

PROJECT PARCEL TOWN OF STRATHAM, NH TAX MAP 1, LOTS 9 & 10
TOTAL LOT AREA 690,978 SQ. FT. 15.86 ACRES

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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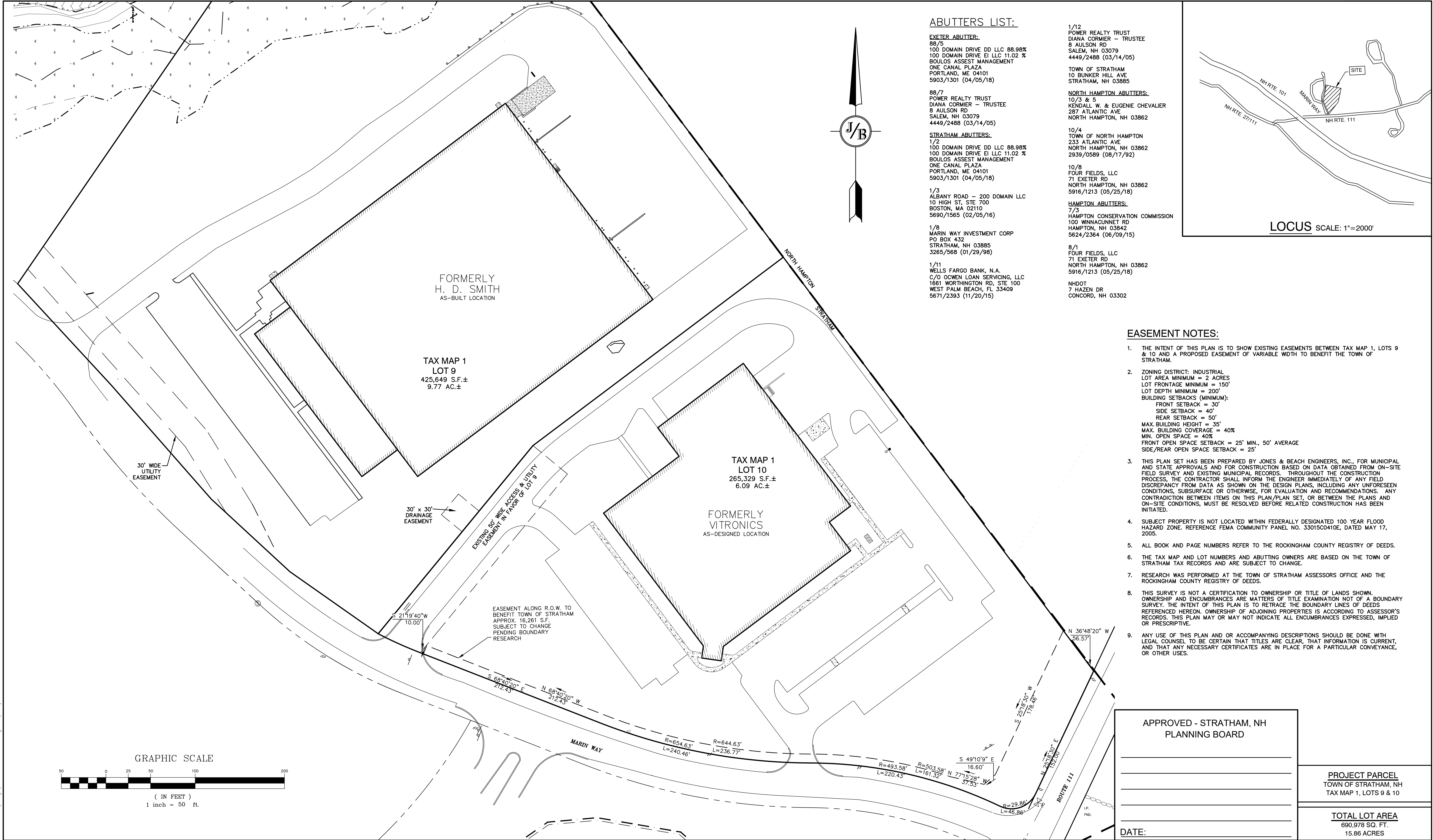
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0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

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85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EASEMENT PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
A1
SHEET 2 OF 12
JBE PROJECT NO. 19226

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ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
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88/7
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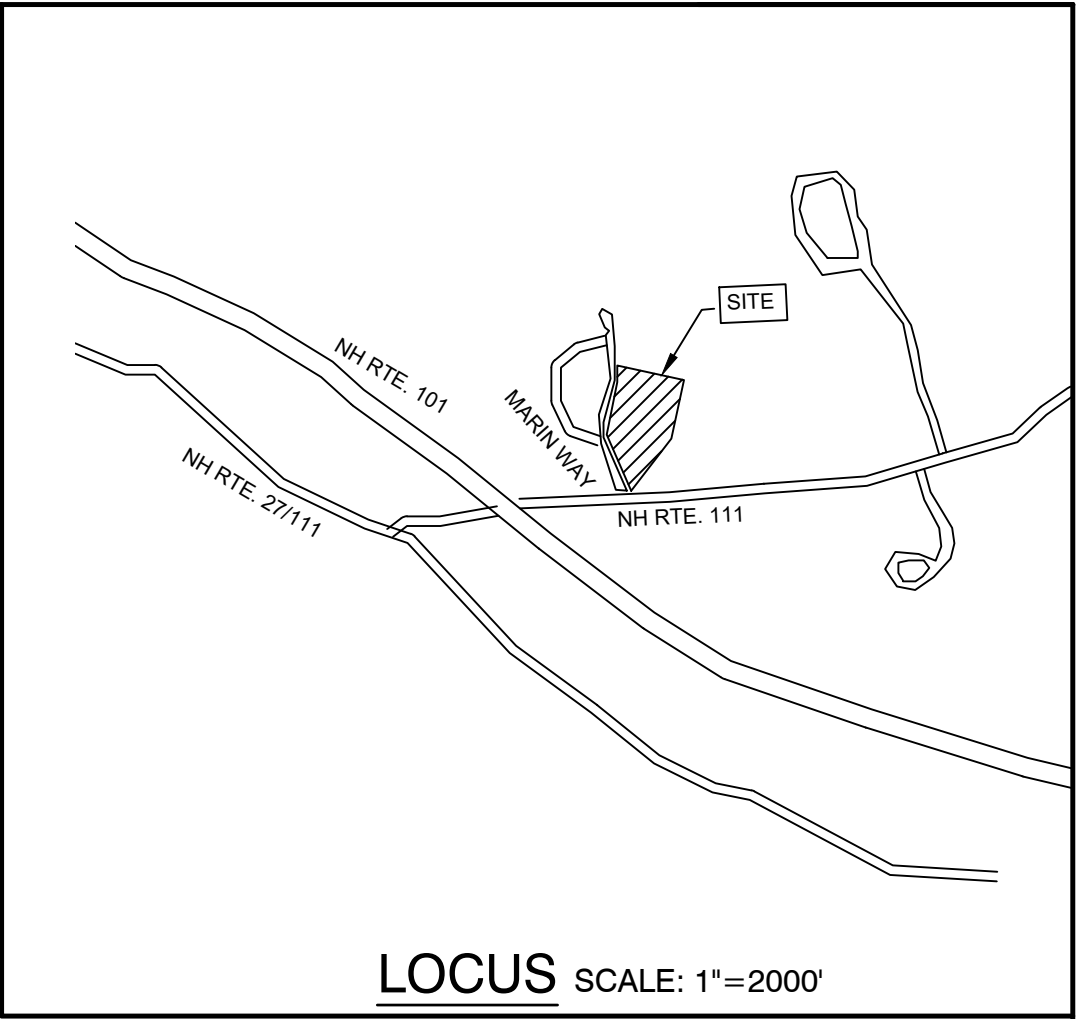
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NHDOT
7 HAZEN DR
CONCORD, NH 03302



EASEMENT NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW EXISTING EASEMENTS BETWEEN TAX MAP 1, LOTS 9 & 10 AND A PROPOSED EASEMENT OF VARIABLE WIDTH TO BENEFIT THE TOWN OF STRATHAM.
- ZONING DISTRICT: INDUSTRIAL
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 40'
REAR SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 40%
MIN. OPEN SPACE = 40%
FRONT OPEN SPACE SETBACK = 25' MIN., 50' AVERAGE
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APPROVED - STRATHAM, NH
PLANNING BOARD

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

DATE:

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0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Designed and Produced in NH
Civil Engineering Services
E-MAIL: JBE@JONESANDBEACH.COM

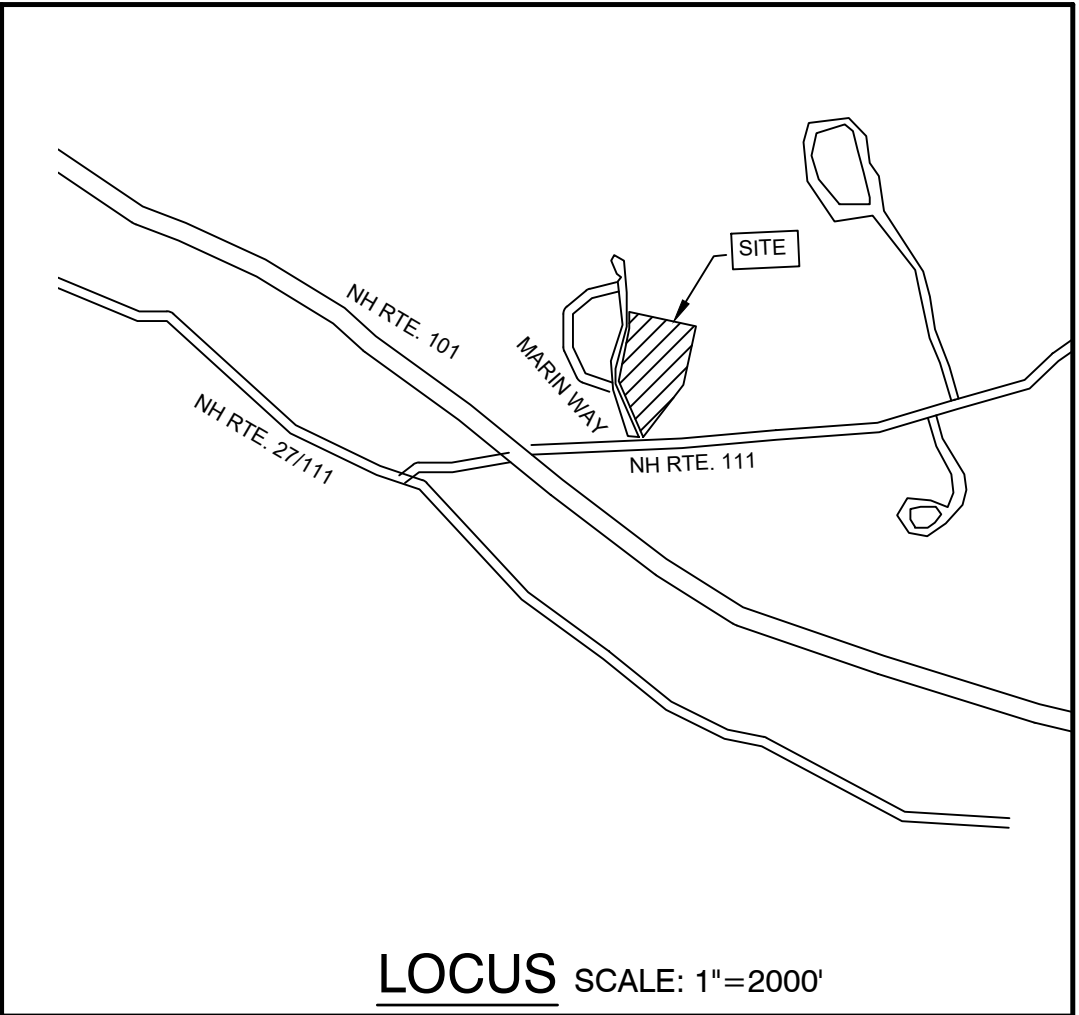
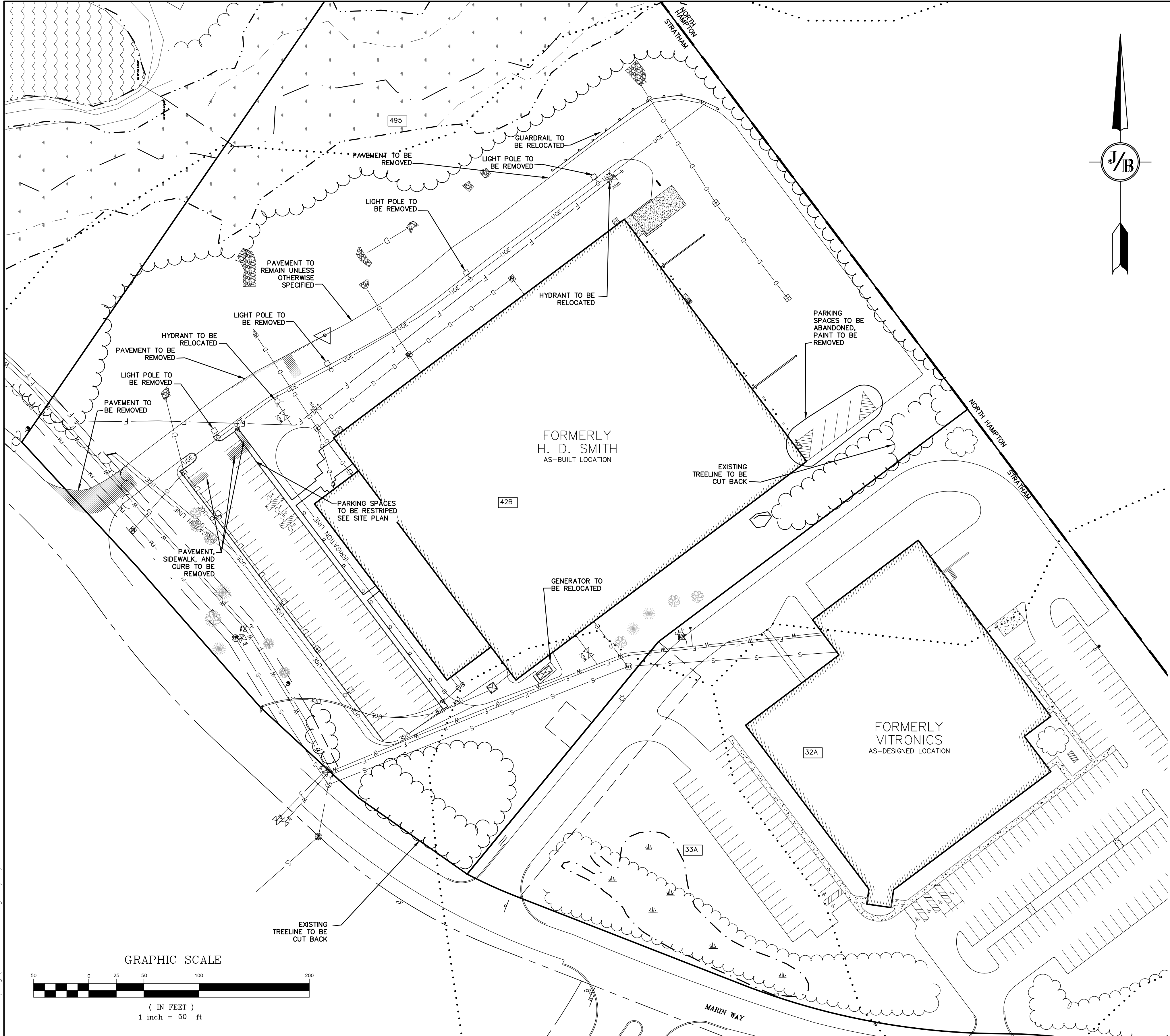
603-772-4746
FAX: 603-772-0227

Plan Name:	EASEMENT PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

A2

SHEET 3 OF 12
JBE PROJECT NO. 19226



DEMOLITION NOTES:

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
3. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
4. ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
5. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
6. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
7. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
8. SEE LANDSCAPE PLAN FOR TREES TO BE SAVED AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
9. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
10. EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED.
11. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
12. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

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Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY
1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM

J/B

Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

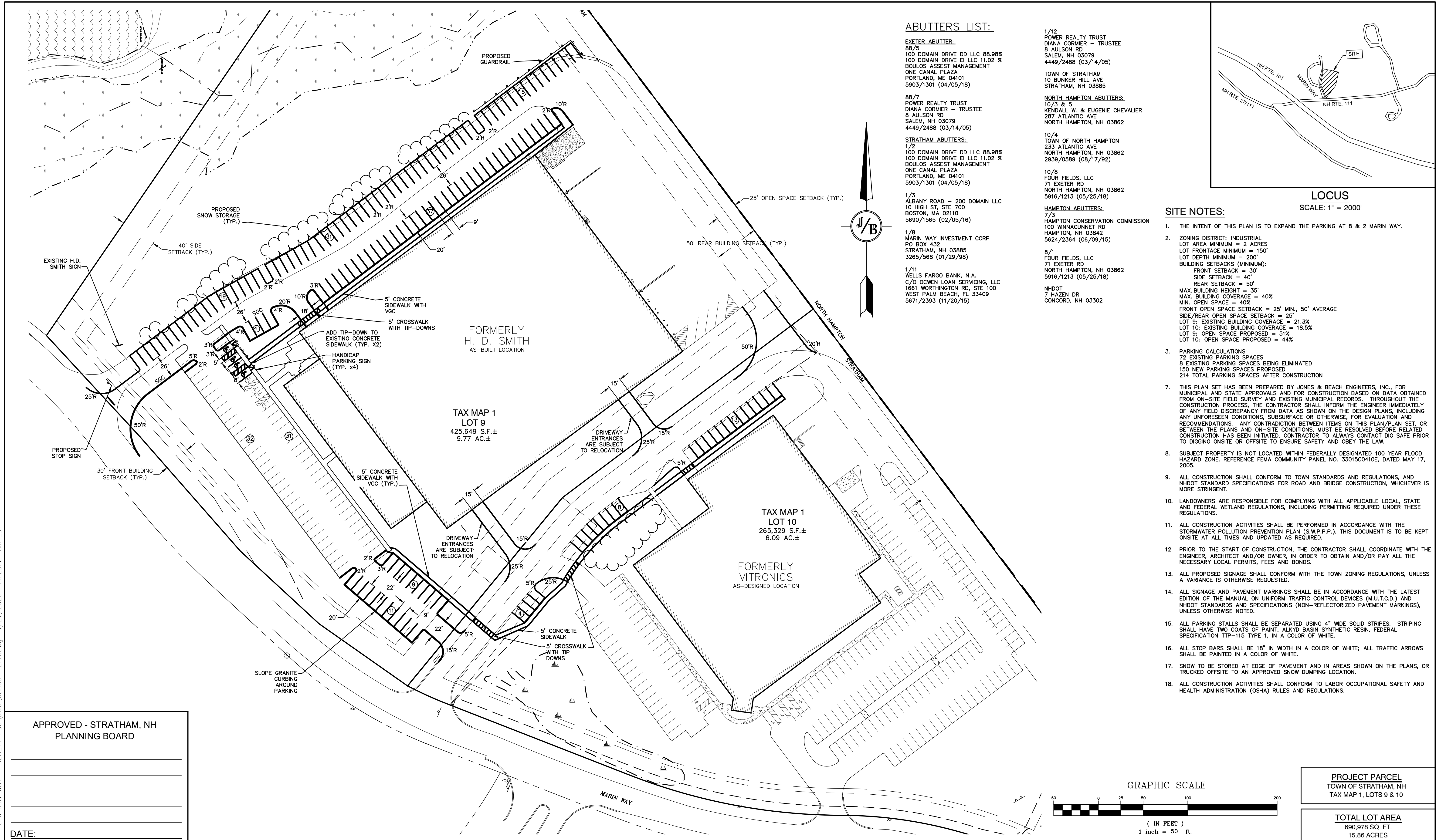
Designed and Produced in NH
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

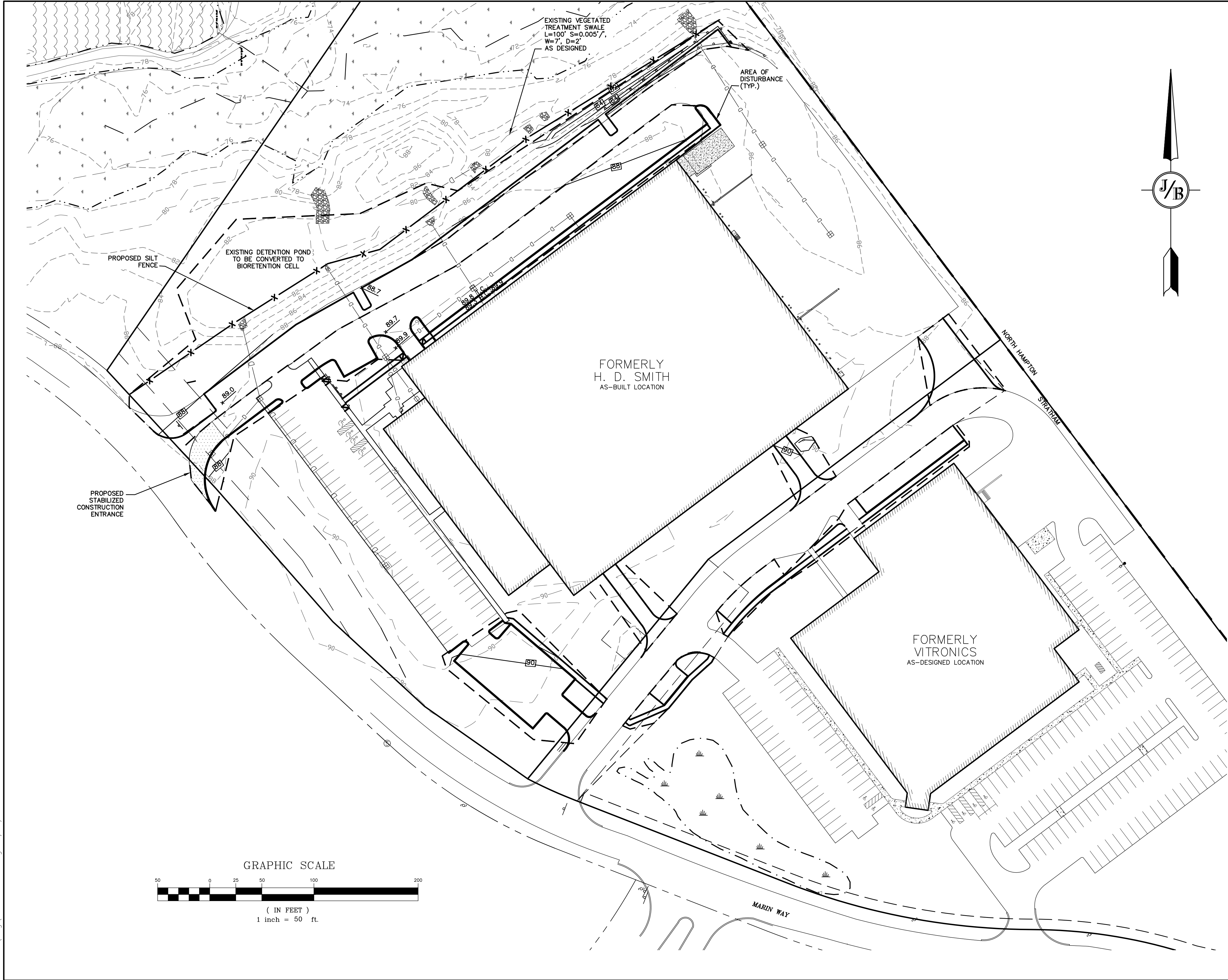
DRAWING No.

DM-1

SHEET 4 OF 12
JBE PROJECT NO. 19226



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GRADING AND DRAINAGE NOTES:

- UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
- ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
- PROPOSED SWALE IS TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO IT.
- ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
- IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
- STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
- SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
- MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
- ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
- SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
- AREA OF DISTURBANCE = 90,000 S.F.±

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY
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0	4/29/20	ISSUED FOR REVIEW	DJM

J/B

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PO Box 219
Stratham, NH 03885

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Civil Engineering Services
E-MAIL: JBE@JONESANDBEACH.COM

603-772-4746
FAX: 603-772-0227

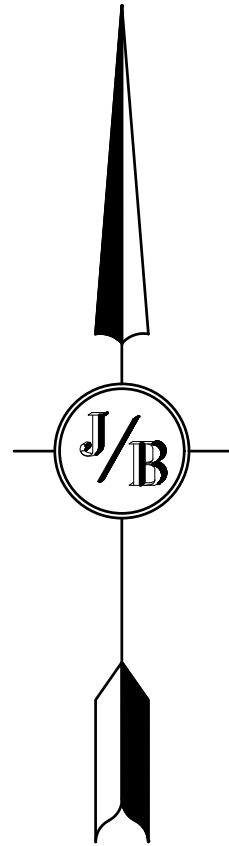
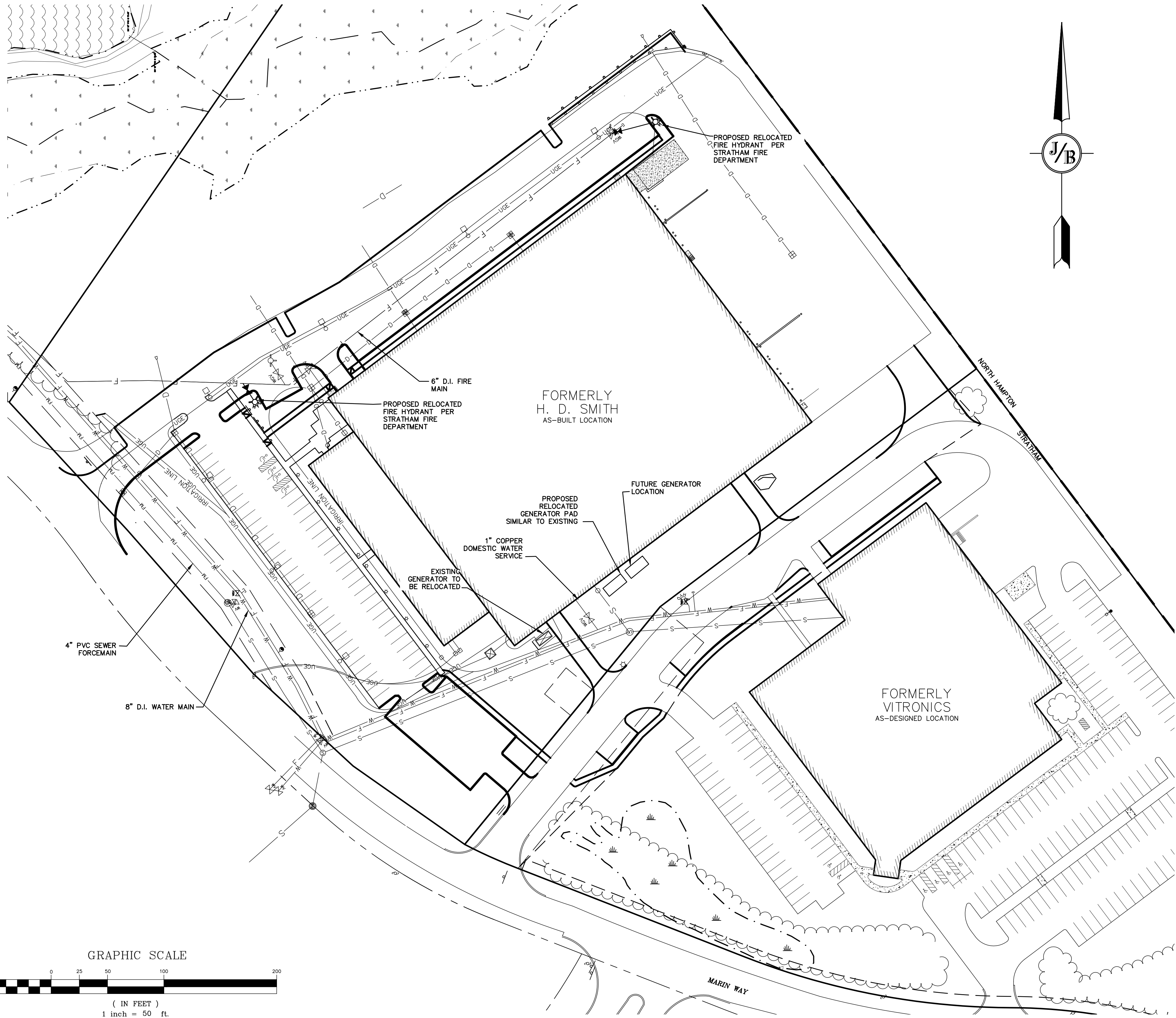
Plan Name:	GRADING AND DRAINAGE PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

C3

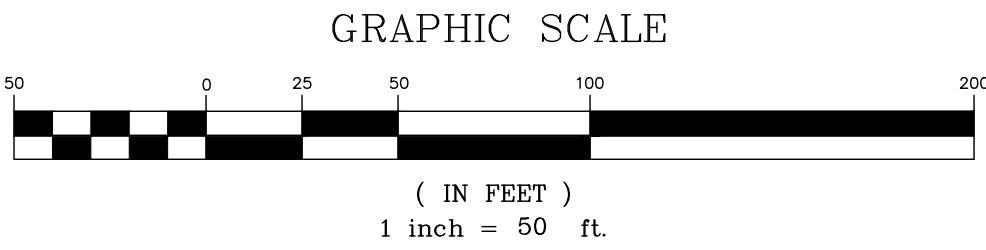
SHEET 6 OF 12
JBE PROJECT NO. 19226

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UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY.
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
11. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
12. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
13. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.



PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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0	4/29/20	ISSUED FOR REVIEW	DJM

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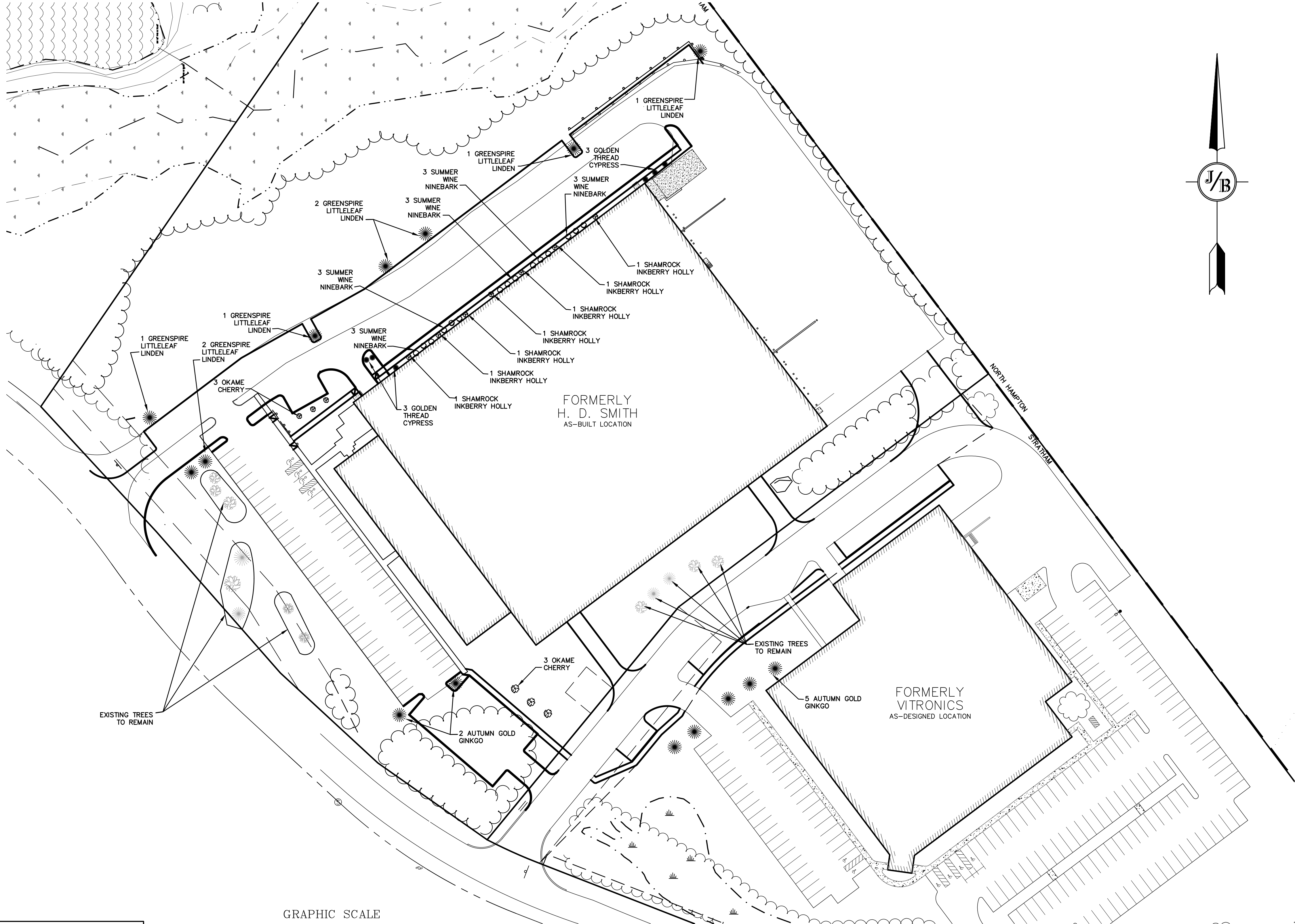
Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	UTILITY PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
C4
SHEET 7 OF 12 JBE PROJECT NO. 19226

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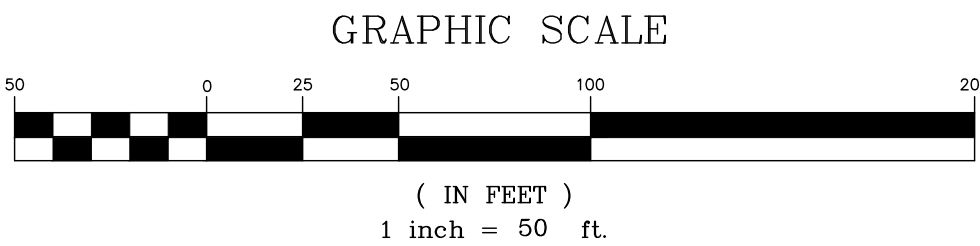


LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED OR SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED.
9. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS IN UNHEALTHY OR UNSIGHTLY CONDITION.
12. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
13. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
14. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE.
15. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
16. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
17. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
18. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO 'WEEDBLOCK' BY EASY GARDENER OR DEWITT WEED BARRIER.
19. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
20. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES



Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY

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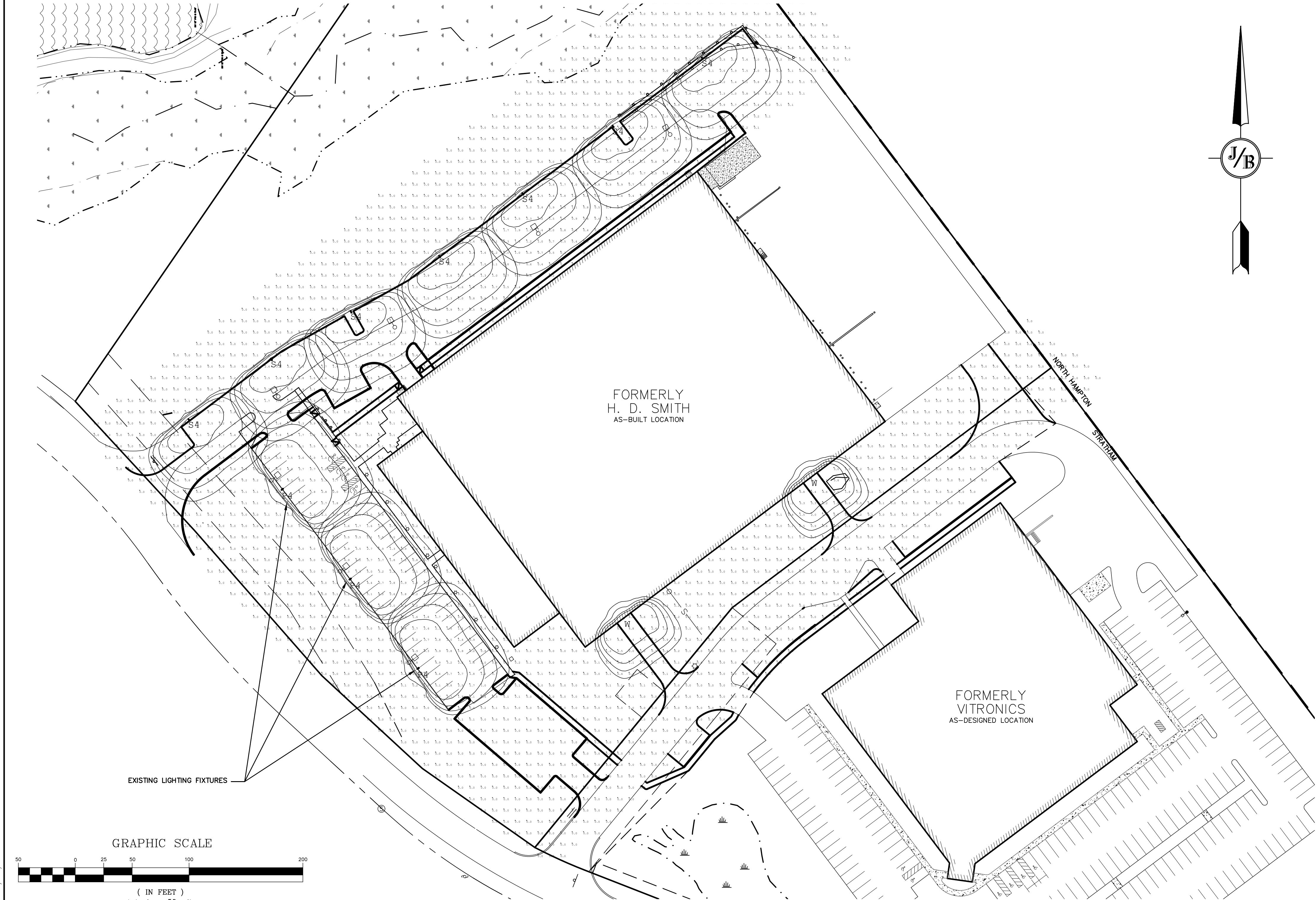
Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	LANDSCAPE PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
L1
SHEET 8 OF 12 JBE PROJECT NO. 19226

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LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY OR ONE OF THEIR SUPPLIERS. OR AN EQUAL. LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10
TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
	7	S4	SINGLE	GLEON-AE-02-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
	3	P4	SINGLE	GLEON-AF-03-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
	2	W	SINGLE	GWC-AF-02-LED-E1-SL4-600/ WALL MTD 12' AFG

Design: JAC	Draft: DJM	Date: 04/23/20
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0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

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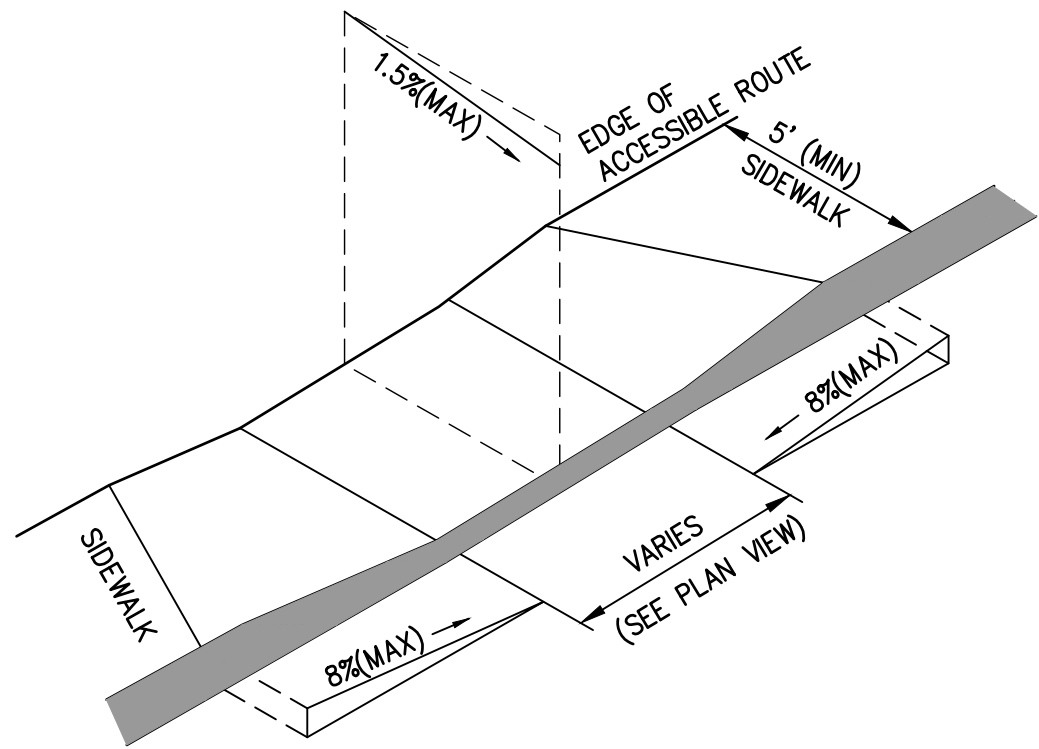
Plan Name:	LIGHTING PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

L2

SHEET 9 OF 12
JBE PROJECT NO. 19226

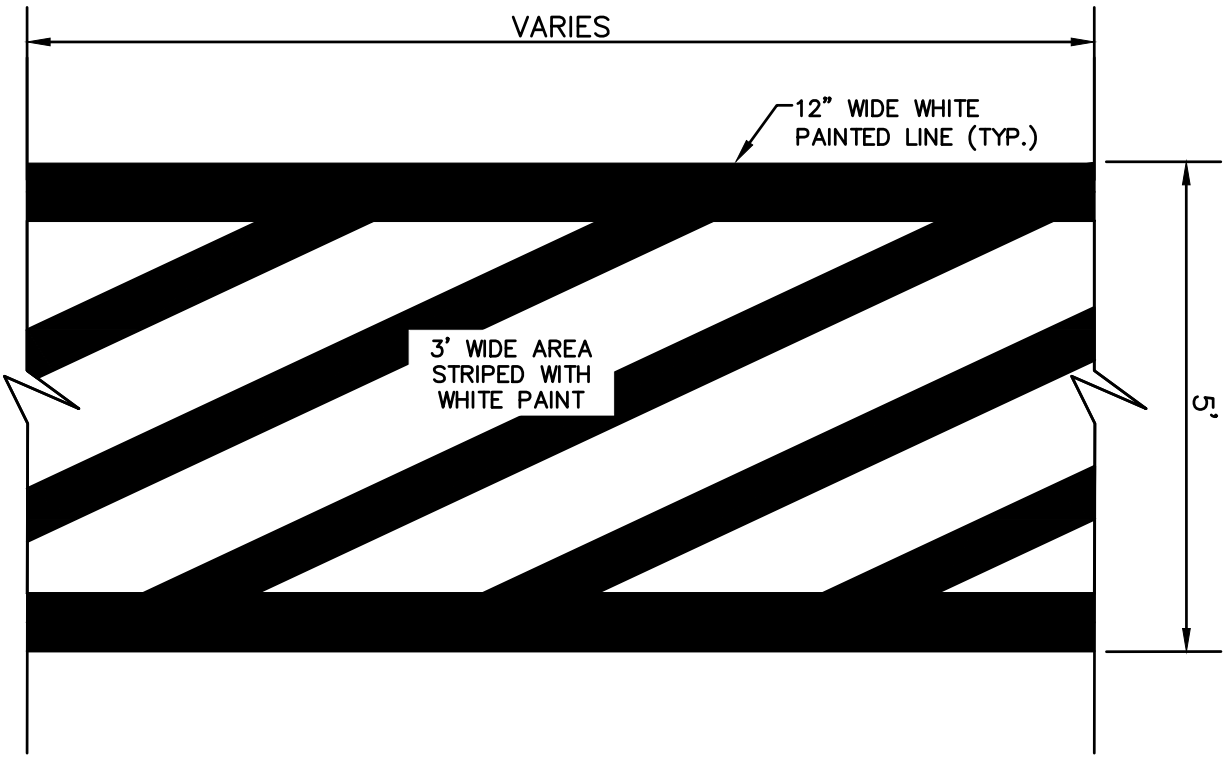
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- NOTES:**
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.e., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

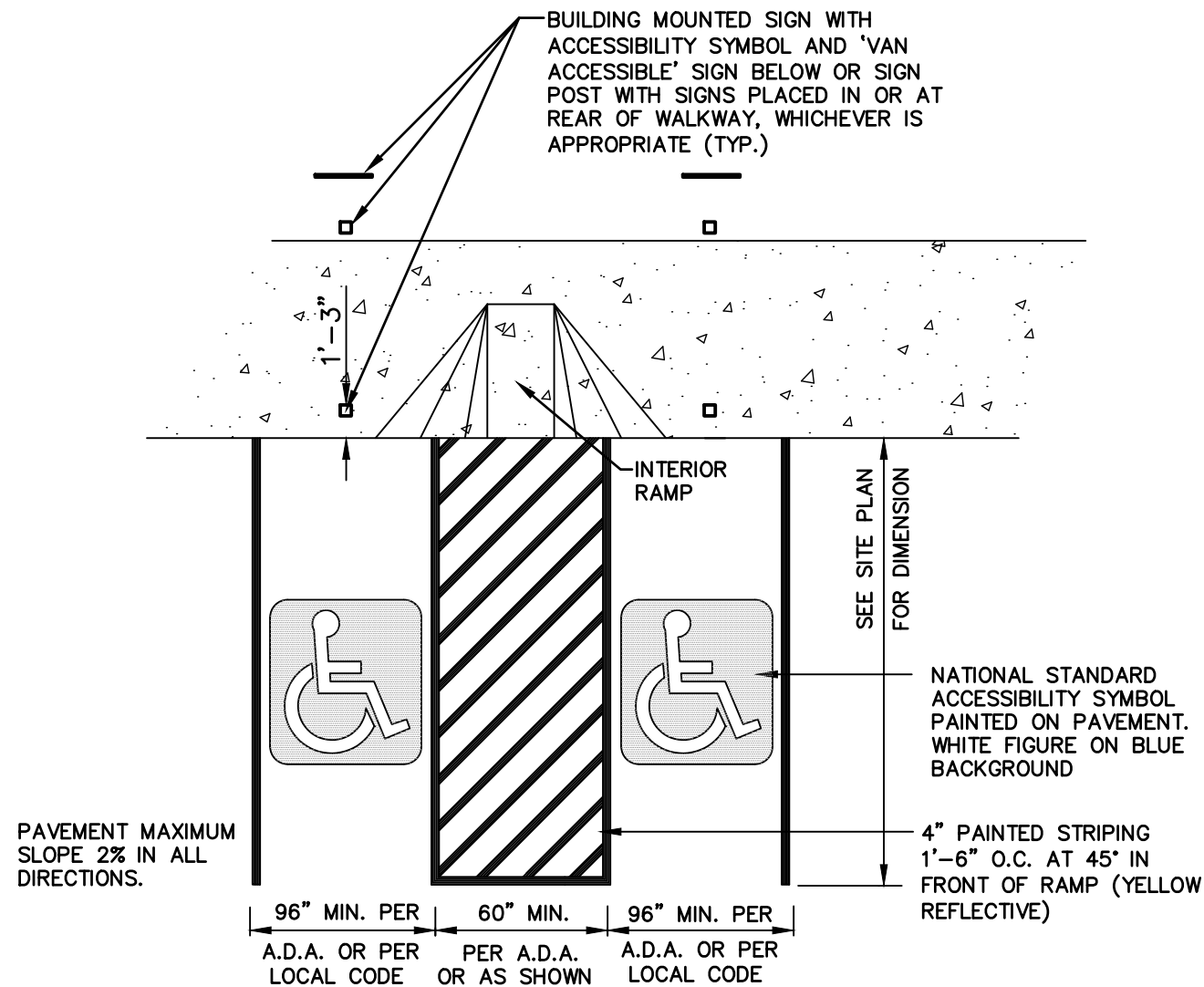
ACCESSIBLE CURB RAMP (TYPE 'A')

NOT TO SCALE



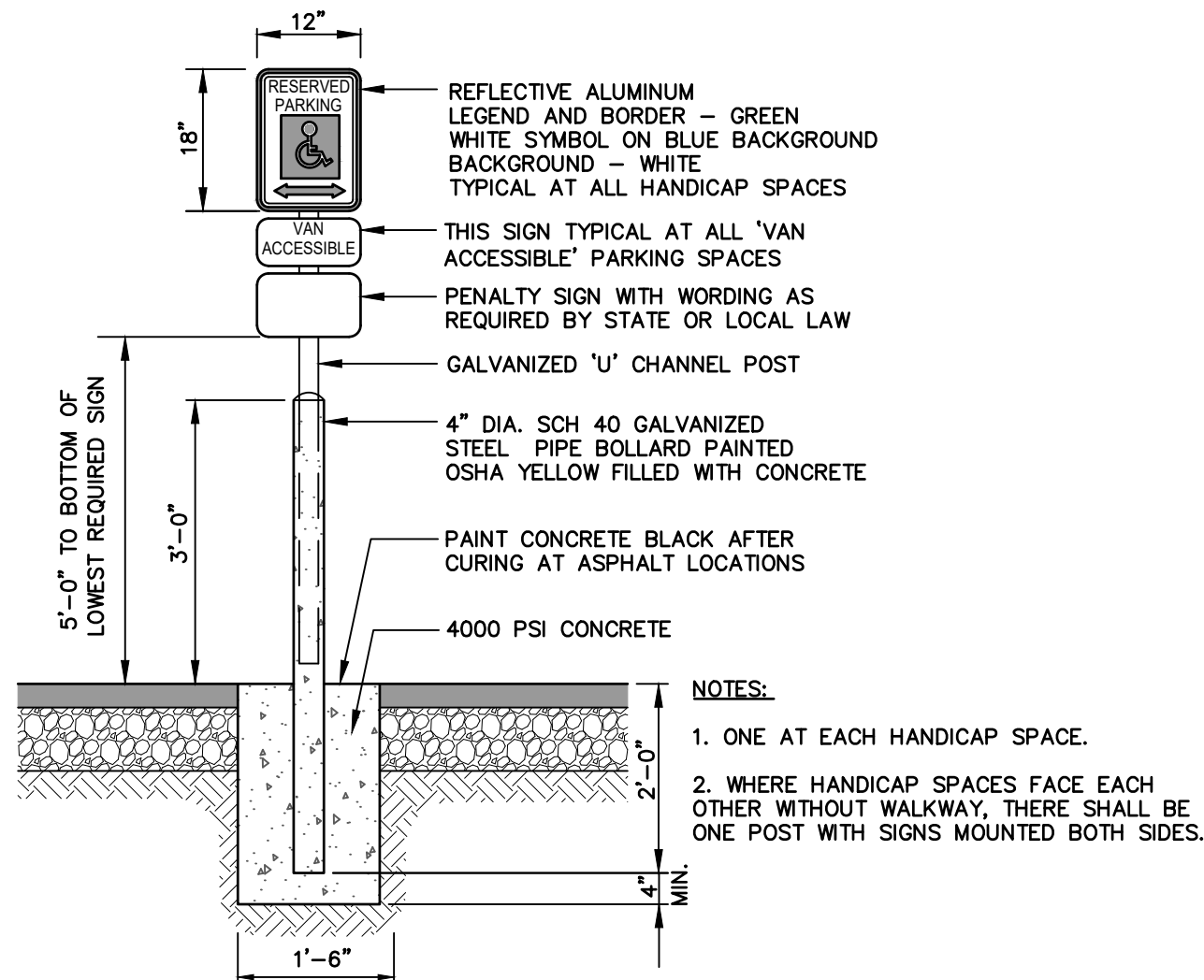
PAINTED CROSSWALK DETAIL

NOT TO SCALE



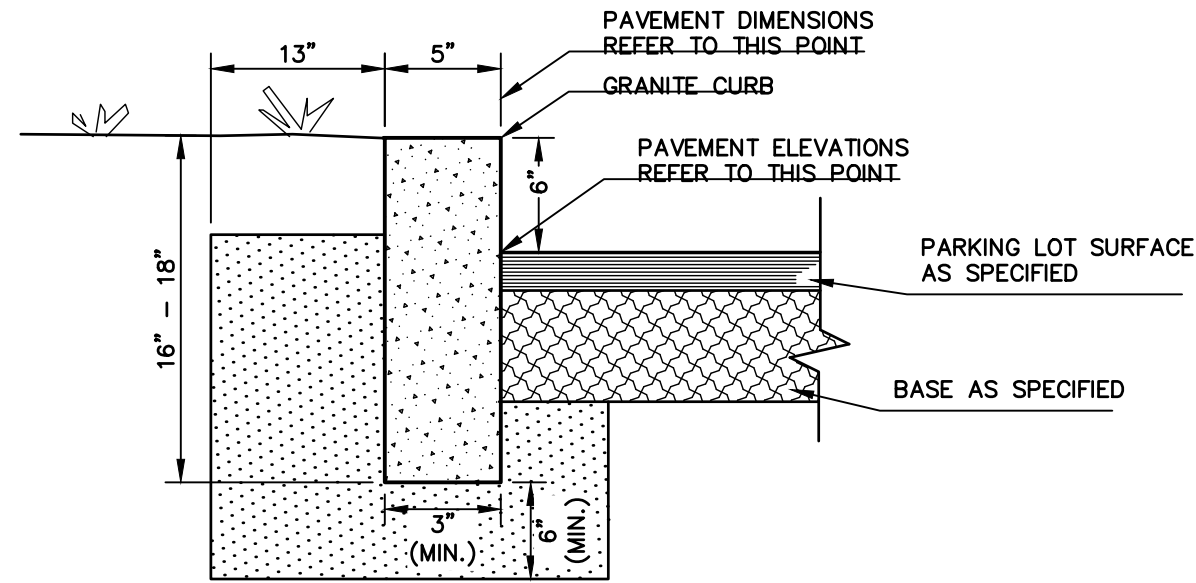
HANDICAP PARKING LAYOUT

NOT TO SCALE



HANDICAP PARKING SIGN (R7-8)

NOT TO SCALE

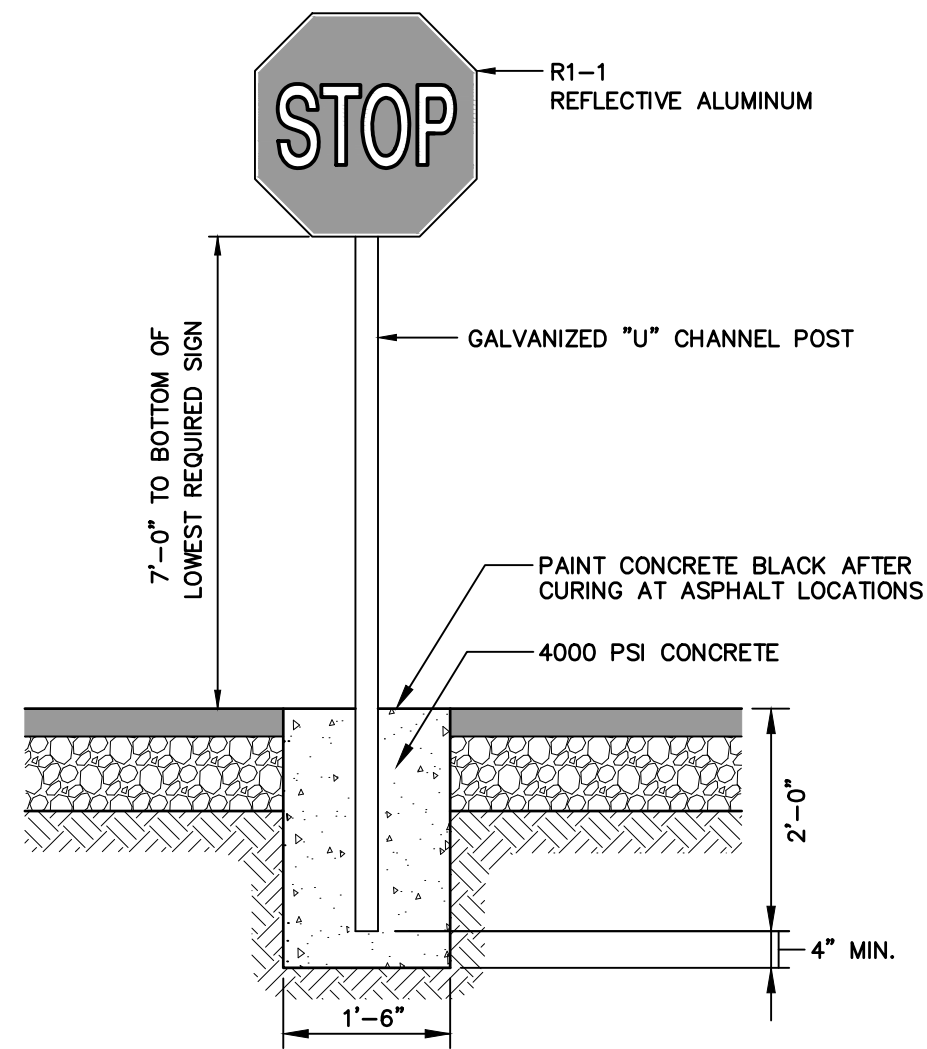


NOTES:

1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

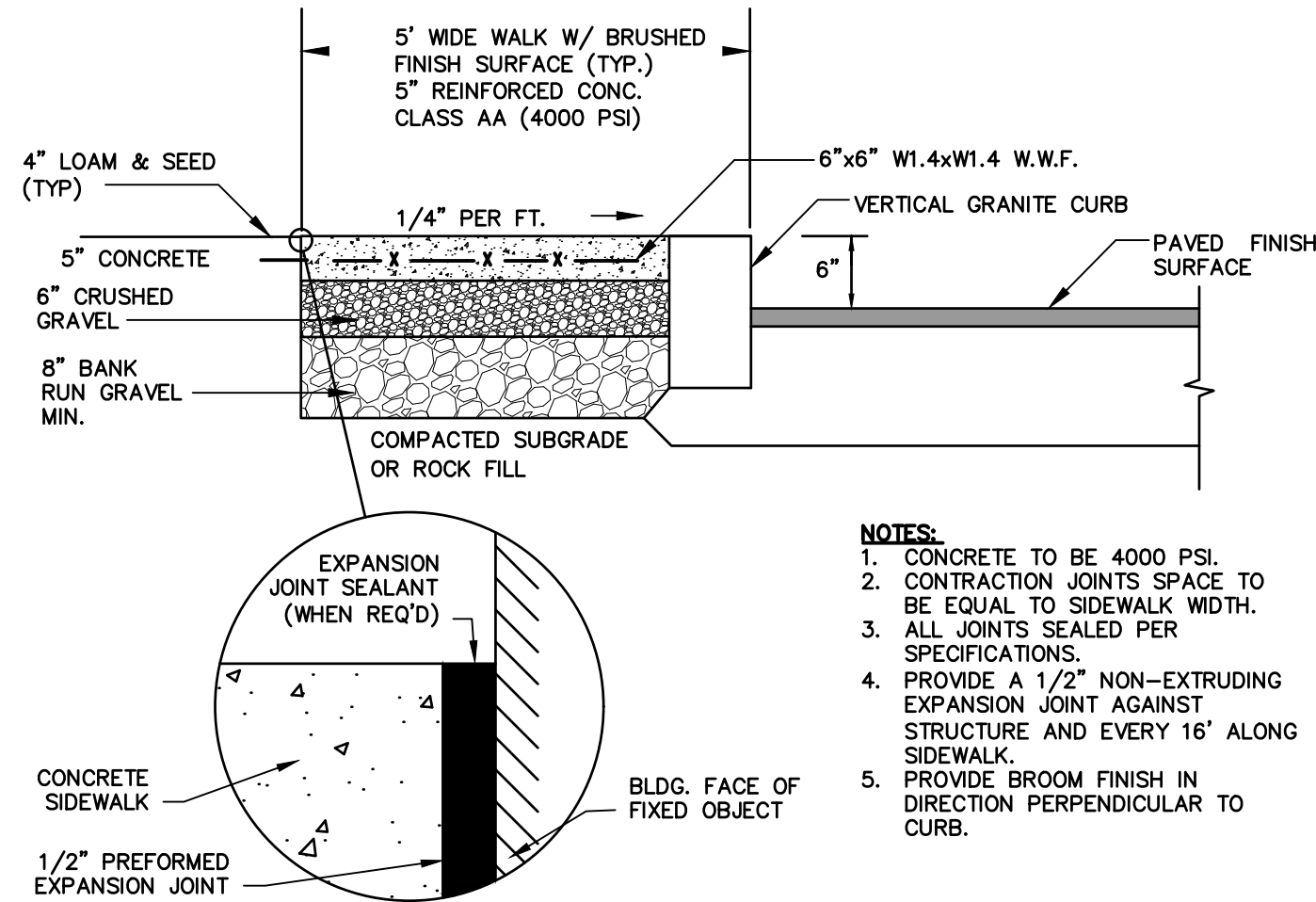
VERTICAL GRANITE CURB

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

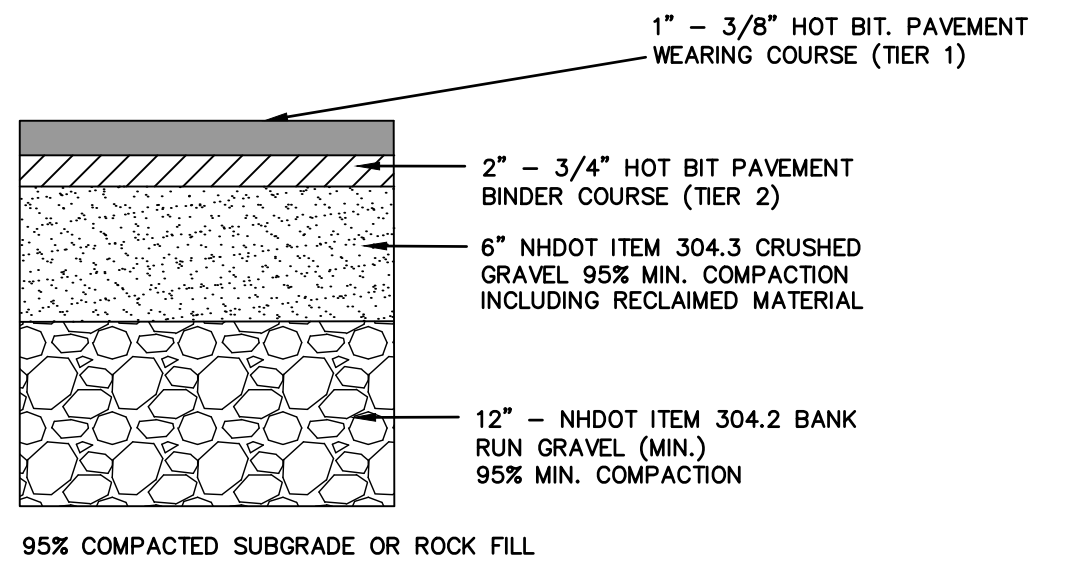


NOTES:

1. CONCRETE TO BE 4000 PSI.
2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
3. ALL JOINTS SEALED PER SPECIFICATIONS.
4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

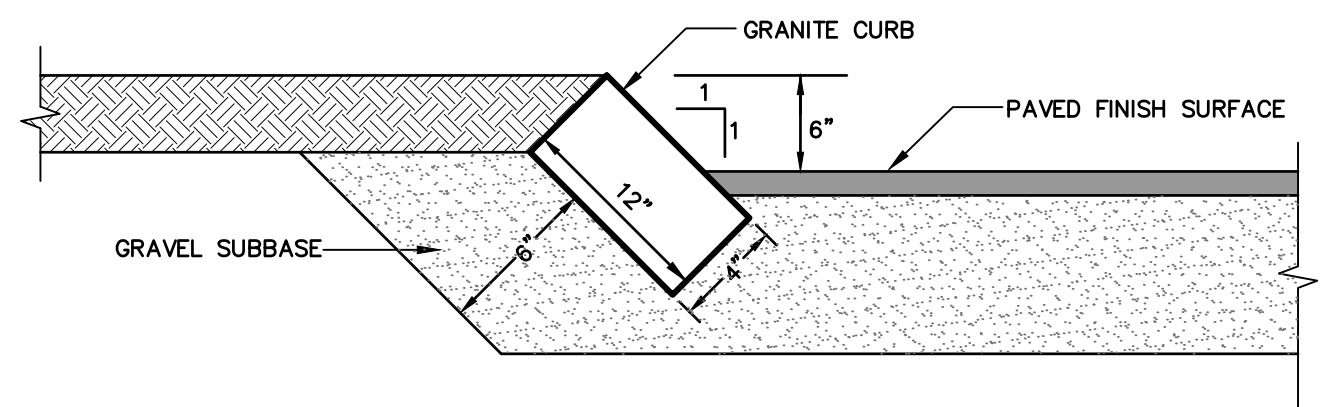
CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

NOT TO SCALE

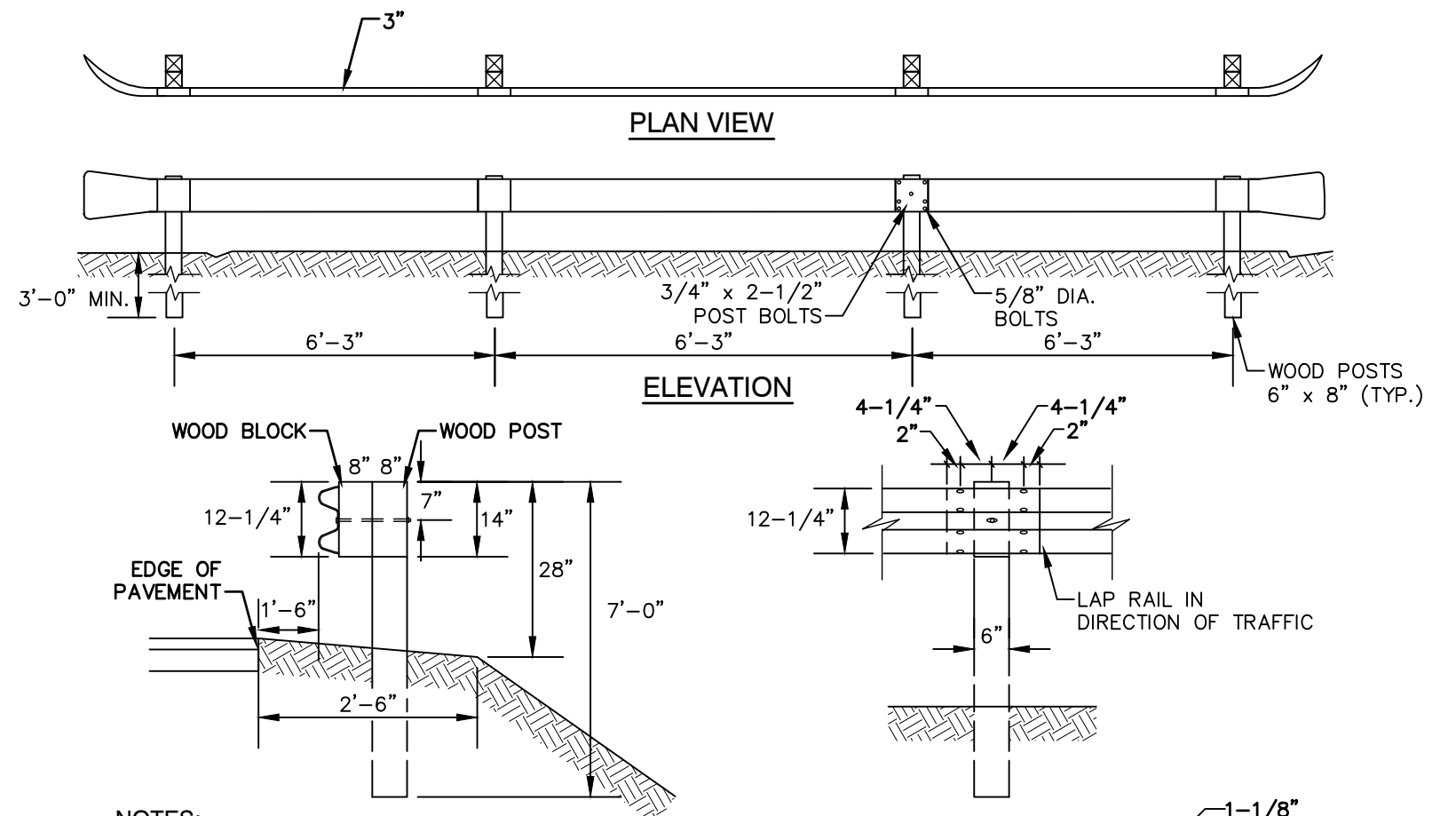


NOTES:

1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.
3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.

SLOPED GRANITE CURB

NOT TO SCALE



NOTES:

1. USE IN HEAVY TRAFFIC AREAS.
2. GUARD RAIL TO BE "CORE-TEN" TYPE (OR EQUIVALENT APPROVED BY THE ENGINEER).
3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.

GUARD RAIL (CORE-TEN)

NOT TO SCALE

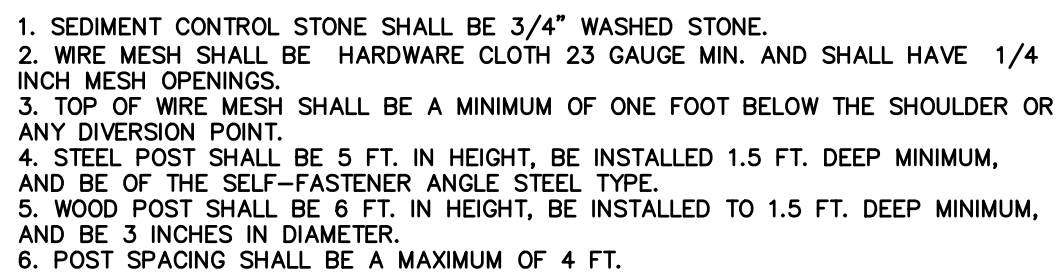
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

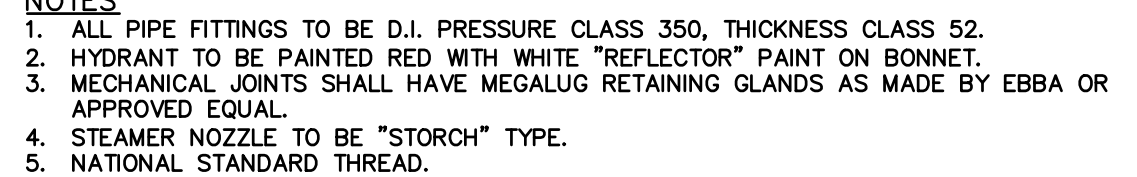
Designed and Produced in NH	
J/B Jones & Beach Engineers, Inc.	
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885	Civil Engineering Services 603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.	D1
SHEET 10 OF 12	JBE PROJECT NO. 19226



NOT TO SCALE



NOT TO SCALE

1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
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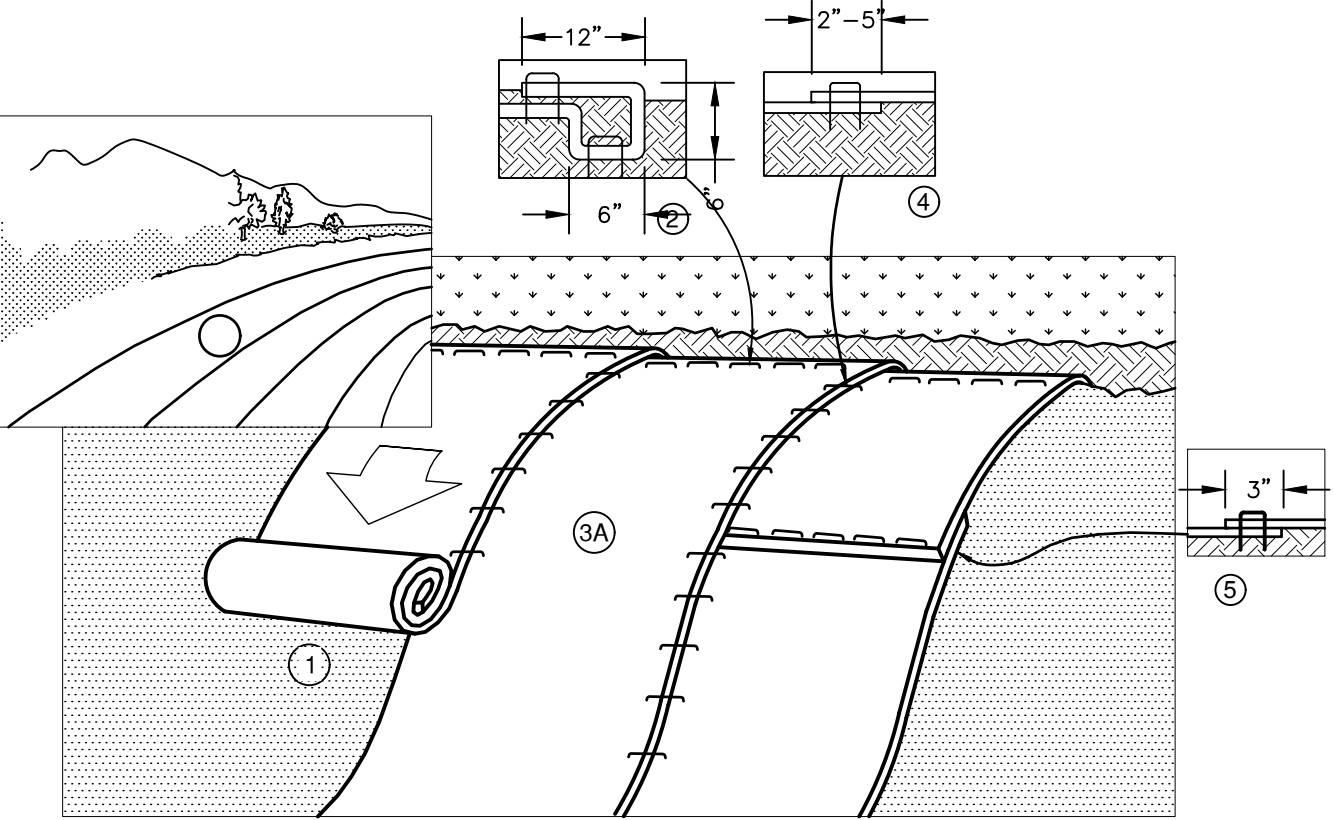
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D2

SHEET 11 OF 12
JBE PROJECT NO. 19226

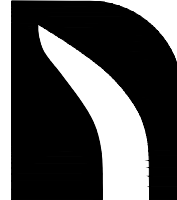
TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:
- a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



NOTES:

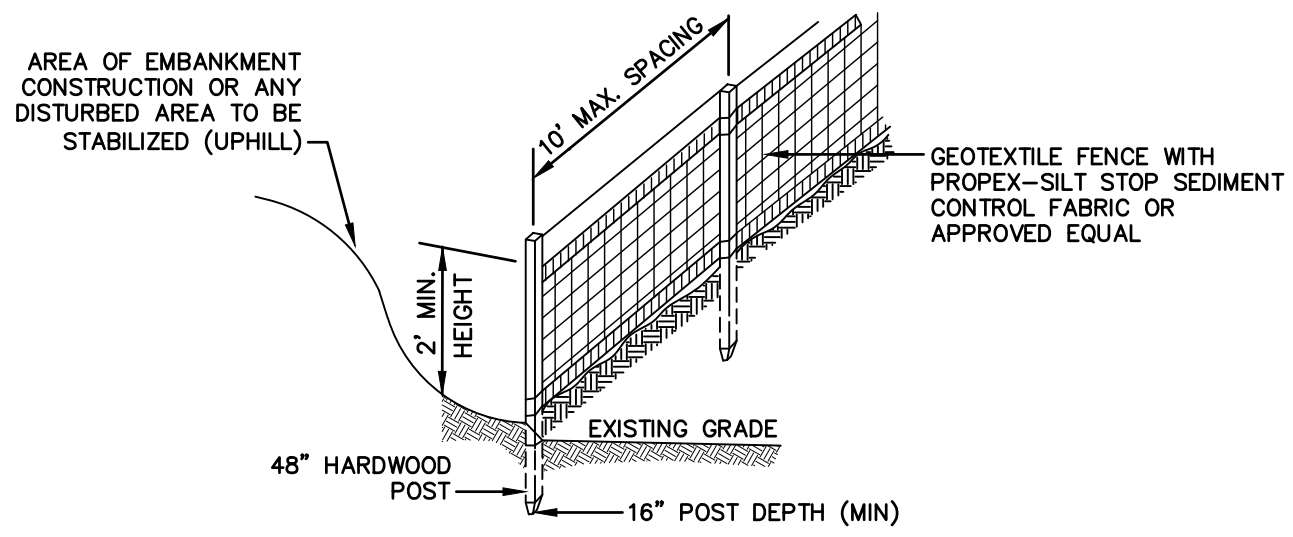
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP. DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.



NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
(North American Green)

NOT TO SCALE

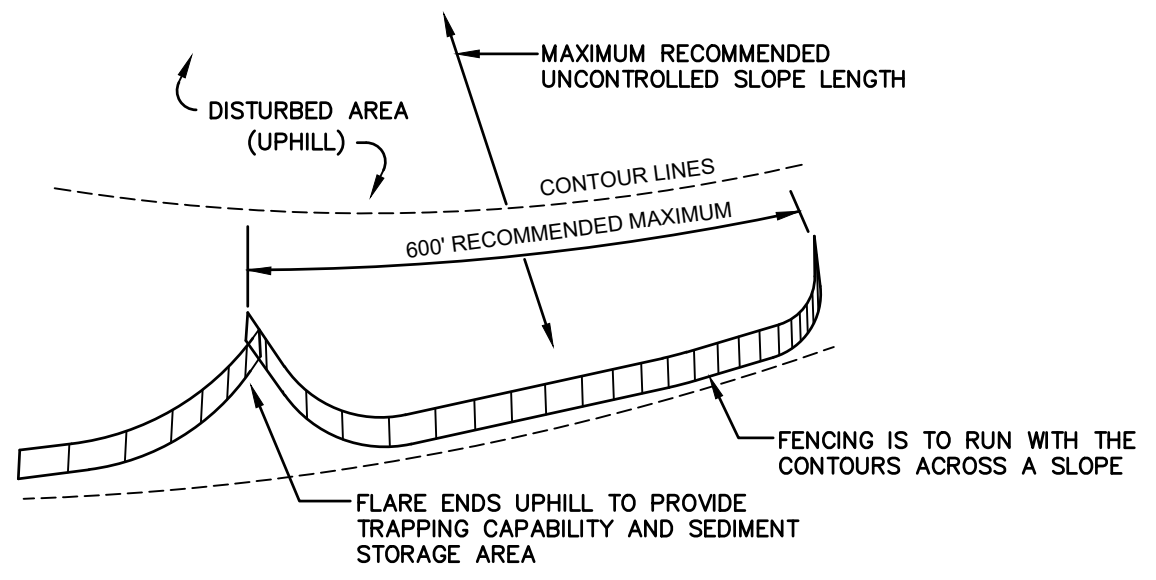


CONSTRUCTION SPECIFICATIONS:

1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
- A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
- A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
- A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNWETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. MULCH
- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
5. MAINTENANCE TO ESTABLISH A STAND
- A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BE FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A B C D	FAIR POOR POOR FAIR	GOOD GOOD GOOD EXCELLENT	GOOD FAIR EXCELLENT EXCELLENT	FAIR FAIR GOOD POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A C	GOOD GOOD	GOOD EXCELLENT	GOOD EXCELLENT	FAIR FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A B C	GOOD GOOD GOOD	GOOD GOOD EXCELLENT	GOOD FAIR EXCELLENT	FAIR POOR FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E F	FAIR FAIR	EXCELLENT EXCELLENT	EXCELLENT EXCELLENT	2/ 2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
RED TOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
CROWN VETCH	15	0.35
OR FLAT PEA	30	0.75
TOTAL	40 OR 55	0.95 OR 1.35
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDS FOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. TALL FESCUE	20	0.45
FLAT PEA	50	0.75
TOTAL	50	1.20
E. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

E:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
E1
SHEET 12 OF 12
JBE PROJECT NO. 19226

SHEET 5 OF 12
JBE PROJECT NO. 19226

Plan Name:	SITE PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

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GENERAL LEGEND

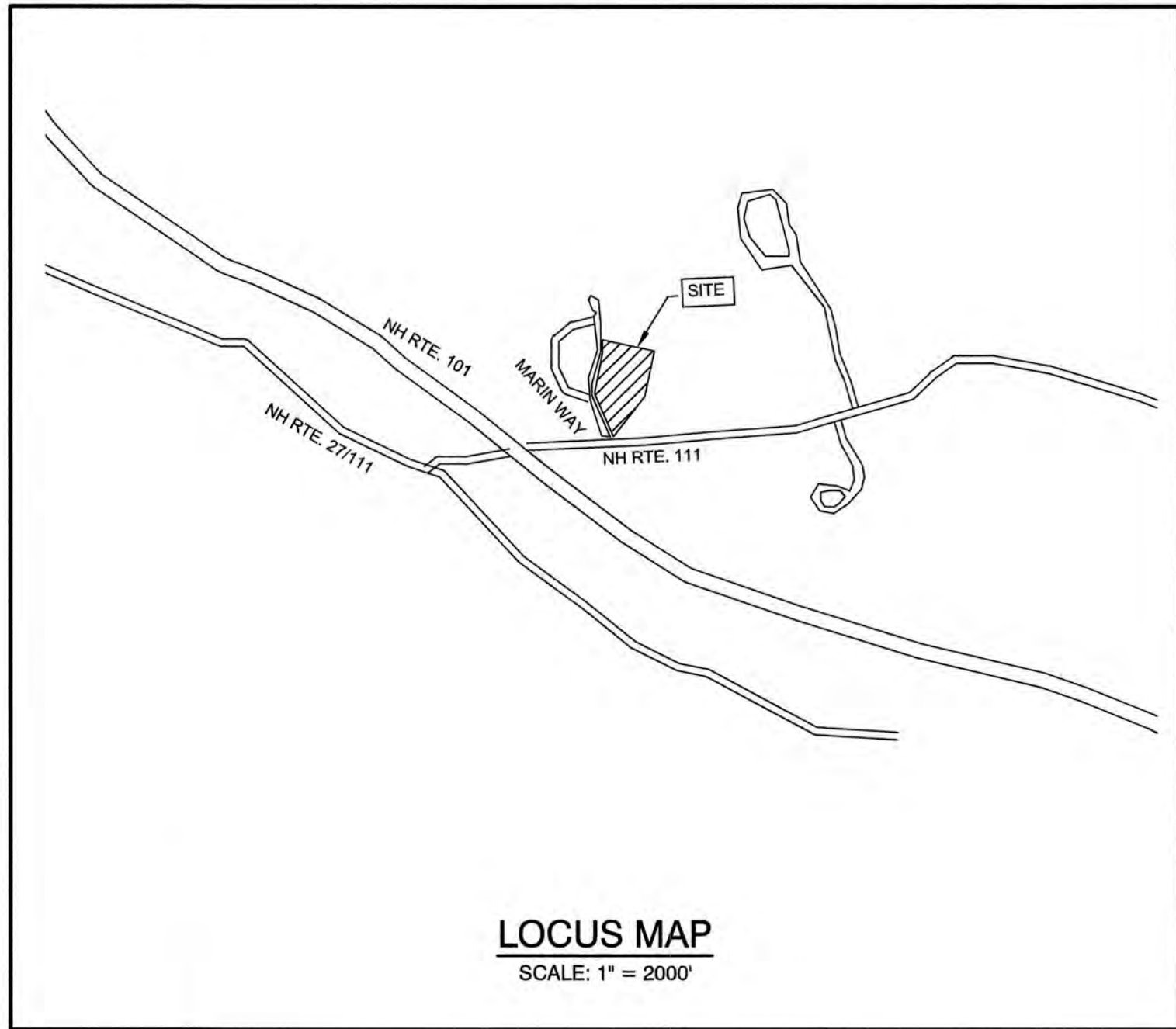
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINES
---	---	SETBACK LINES
---	---	CENTERLINE
---	---	FRESHWATER WETLANDS LINE
---	---	TIDAL WETLANDS LINE
---	---	STREAM CHANNEL
---	---	TREE LINE
---	---	STONEWALL
---	---	BARBED WIRE
---	---	FENCING
---	---	STOCKADE FENCE
---	---	SOIL BOUNDARY
---	---	AQUIFER PROTECTION LINE
---	---	ZONELINE
---	---	EASEMENT
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	EDGE OF PAVEMENT
---	---	VERTICAL GRANITE CURB
---	---	SLOPE GRANITE CURB
---	---	CAPE COD BERM
---	---	POURED CONCRETE CURB
---	---	SILT FENCE
---	---	DRAINAGE LINE
---	---	SEWER LINE
---	---	SEWER FORCE MAIN
---	---	GAS LINE
---	---	WATER LINE
---	---	WATER SERVICE
---	---	OVERHEAD ELECTRIC
---	---	UNDERGROUND ELECTRIC
---	---	GUARDRAIL
---	---	UNDERDRAIN
---	---	FIRE PROTECTION LINE
---	---	THRUST BLOCK
---	---	IRON PIPE/IRON ROD
---	---	DRILL HOLE
---	---	STONE/GRANITE BOUND
---	---	SPOT GRADE
---	---	PAVEMENT SPOT GRADE
---	---	CURB SPOT GRADE
---	---	TBM
---	---	DOUBLE POST SIGN
---	---	SINGLE POST SIGN
---	---	WELL
---	---	TEST PIT
---	---	FAILED TEST PIT
---	---	MONITORING WELL
---	---	PERC TEST
---	---	PHOTO LOCATION
---	---	TREES AND BUSHES
---	---	UTILITY POLE
---	---	LIGHT POLES
---	---	DRAIN MANHOLE
---	---	SEWER MANHOLE
---	---	HYDRANT
---	---	WATER GATE
---	---	WATER SHUT OFF
---	---	REDUCER
---	---	SINGLE GRATE CATCH BASIN
---	---	DOUBLE GRATE CATCH BASIN
---	---	TRANSFORMER
---	---	CULVERT W/MINGWALLS
---	---	CULVERT W/FLARED END SECTION
---	---	CULVERT W/STRAIGHT HEADWALL
---	---	STONE CHECK DAM
---	---	DRAINAGE FLOW DIRECTION
---	---	4K SEPTIC AREA
---	---	WETLAND IMPACT
---	---	VEGETATED FILTER STRIP
---	---	RIPRAP
---	---	OPEN WATER
---	---	FRESHWATER WETLANDS
---	---	TIDAL WETLANDS
---	---	STABILIZED CONSTRUCTION ENTRANCE
---	---	CONCRETE
---	---	GRAVEL
---	---	SNOW STORAGE
---	---	RETAINING WALL

SITE PLAN

PARKING LOT EXPANSION

2 & 8 MARIN WAY, STRATHAM, NH

TAX MAP 1, LOTS 9 & 10



LOCUS MAP
SCALE: 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1	EASEMENT PLAN
DM1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
D1-D2	DETAIL SHEET
E1	EROSION AND SEDIMENT CONTROL DETAILS

ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

STRATHAM ABUTTERS:
1/2
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

1/3
ALBANY ROAD - 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110
5690/1565 (02/05/16)

1/8
MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885
3265/568 (01/29/98)

1/11
WELLS FARGO BANK, N.A.
C/O OWEN LOAN SERVICING, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

NORTH HAMPTON ABUTTERS:
10/3 & 5
KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4
TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:
7/3
HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT
7 HAZEN DR
CONCORD, NH 03302

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

APPROVED - STRATHAM, NH
PLANNING BOARD

DATE:

Design: JAC	Draft: DJM	Date: 4/23/20
Checked: JAC	Scale: AS SHOWN	Project No.: 19226
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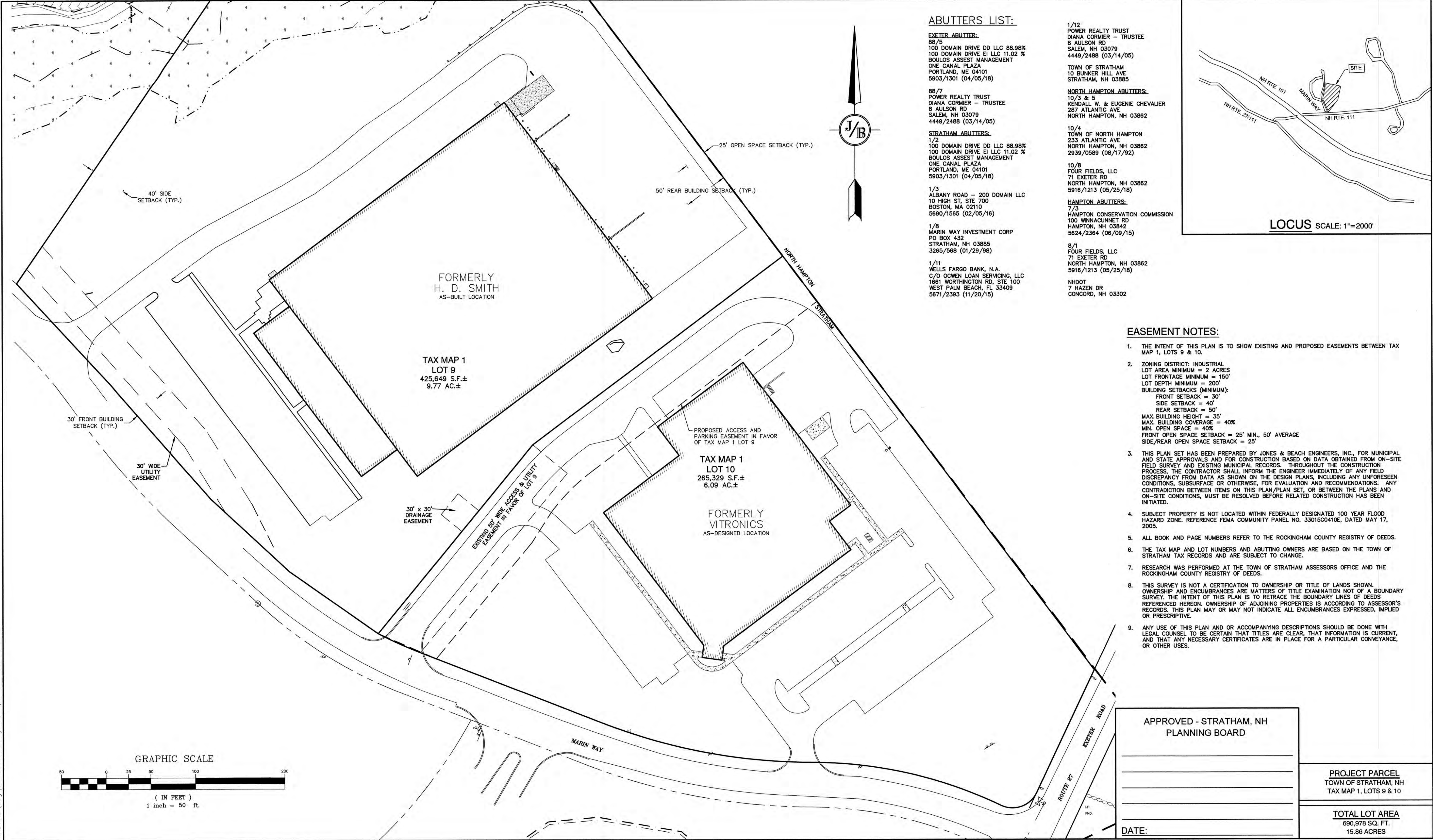
REV.	DATE	REVISION	BY
0	4/29/20	ISSUED FOR REVIEW	DJM

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services
85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Client:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.	CS
SHEET 1 OF 11	JBE PROJECT NO. 19226

SITE PLAN, MARIN WAY, STRATHAM, NH
JBE # 19226
REVISION 4/24/20



ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

STRATHAM ABUTTERS:
1/2
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

1/3
ALBANY ROAD - 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110
5690/1565 (02/05/16)

1/8
MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885
3265/568 (01/29/98)

1/11
WELLS FARGO BANK, N.A.
C/O OWEN LOAN SERVICES, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

NORTH HAMPTON ABUTTERS:
10/3 & 5
KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4
TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:
7/3
HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT
7 HAZEN DR
CONCORD, NH 03302

EASEMENT NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW EXISTING AND PROPOSED EASEMENTS BETWEEN TAX MAP 1, LOTS 9 & 10.
- ZONING DISTRICT: INDUSTRIAL
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 40'
REAR SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 40%
MIN. OPEN SPACE = 40%
FRONT OPEN SPACE SETBACK = 25' MIN., 50' AVERAGE
SIDE/REAR OPEN SPACE SETBACK = 25'
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0410E, DATED MAY 17, 2005.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF STRATHAM TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF STRATHAM ASSESSORS OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.

APPROVED - STRATHAM, NH
PLANNING BOARD

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

DATE:

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE).		
ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

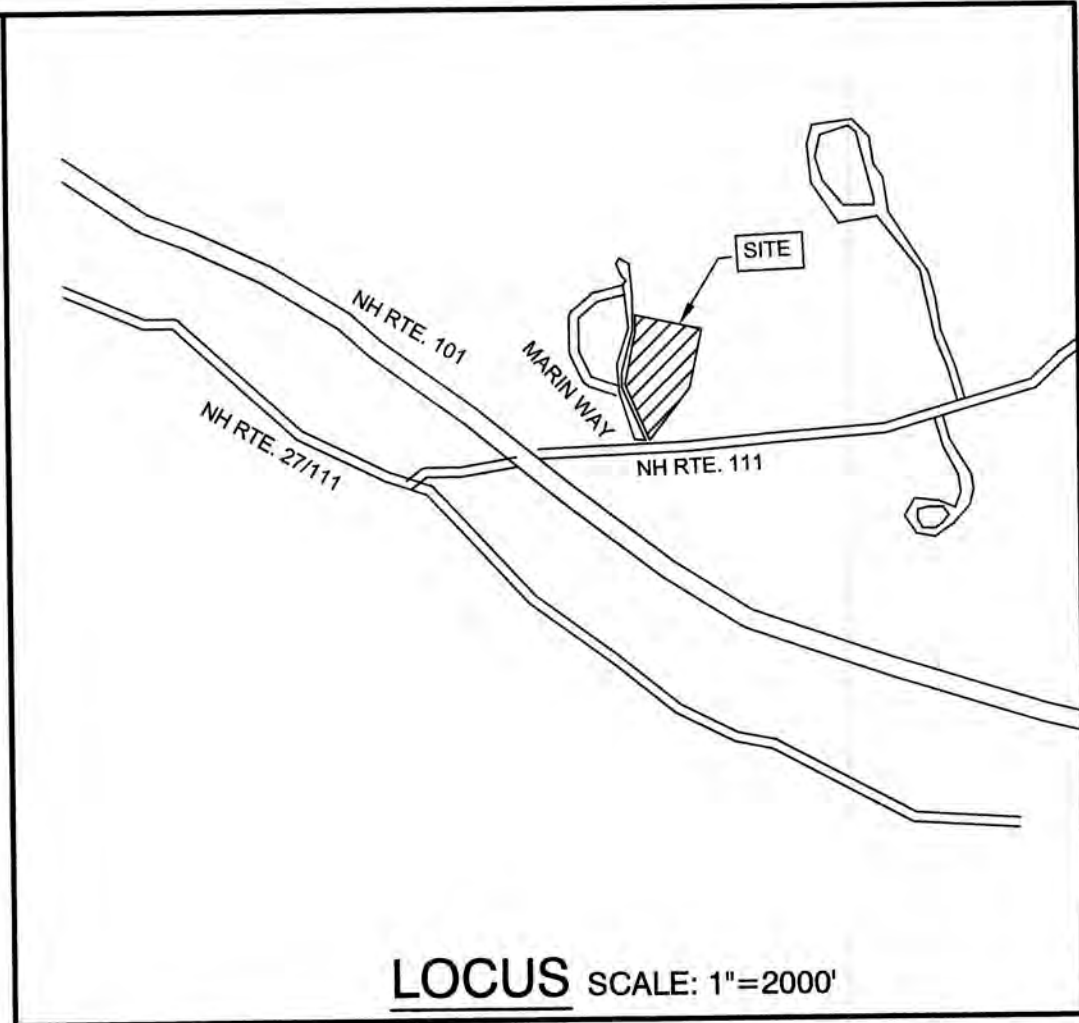
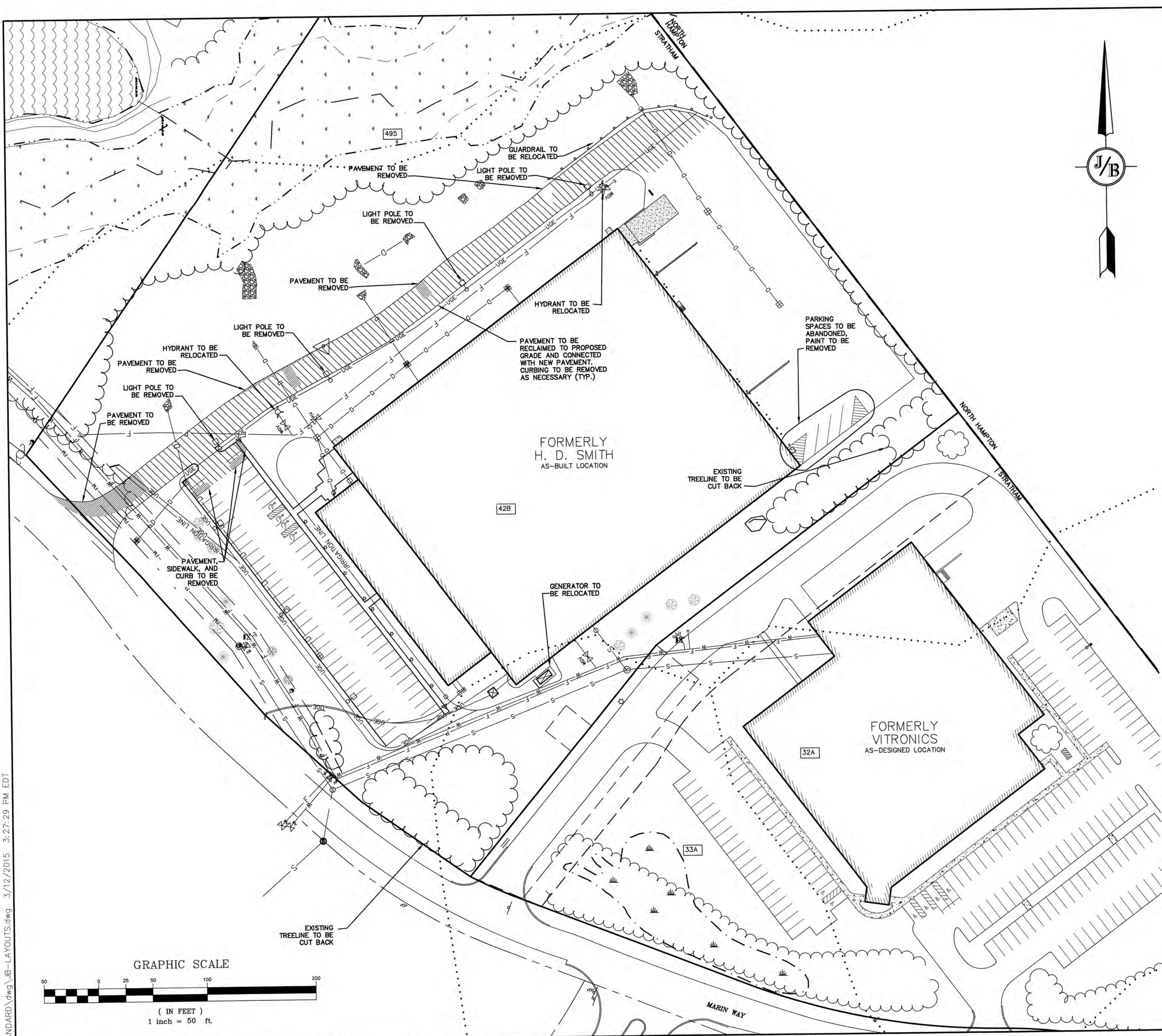


0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

J/B Jones & Beach Engineers, Inc.
Designed and Produced in NH
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EASEMENT PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
A1
SHEET 2 OF 11
JBE PROJECT NO. 19226



DEMOLITION NOTES:

1. THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
2. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
3. ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
4. ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
5. ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
6. ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
7. ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
8. SEE LANDSCAPE PLAN FOR "TREES TO BE SAVED" AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
9. THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
10. EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED.
11. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
12. EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC Draft: DJM Date: 04/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg

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0	4/29/20	ISSUED FOR REVIEW	DJM
			BY

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

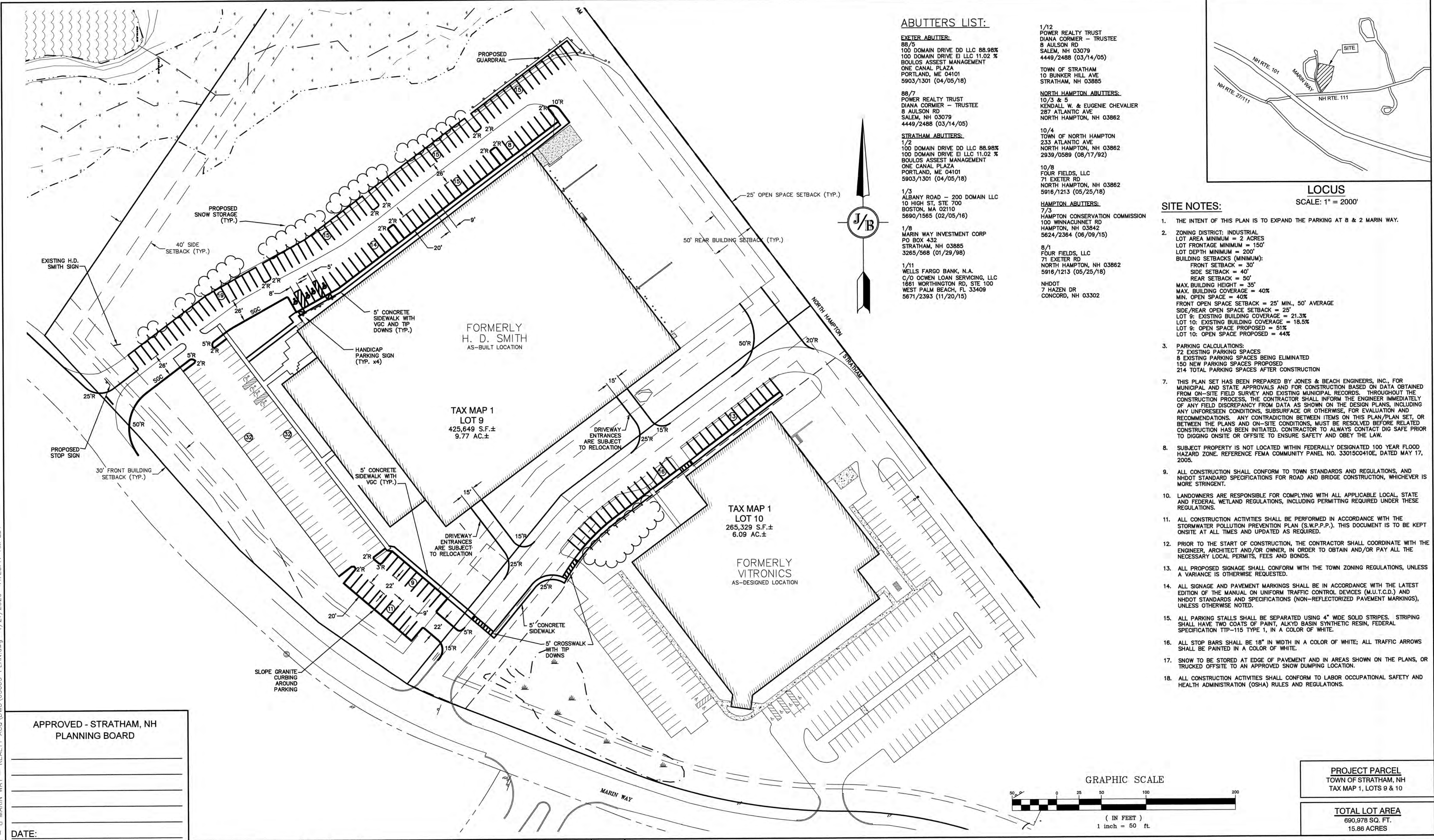
Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DEMOLITION PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH S.T.P. LOT 3, LLC
Owner of Record:	P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
DM-1
SHEET 3 OF 11
JBE PROJECT NO. 19226

W:\19226 STRATHAM - 8 MARIN WAY - REALTY ACQ\DWG\05063-PLAN.dwg 4/21/2020 11:25:17 AM EDT



ABUTTERS LIST:

EXETER ABUTTER:

88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7

POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

STRATHAM ABUTTERS:

1/2
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

1/3

ALBANY ROAD - 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110
5690/1565 (02/05/16)

1/8

MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885
3265/568 (01/29/98)

1/11

WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12

POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

NORTH HAMPTON ABUTTERS:

10/3 & 5
KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4

TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:

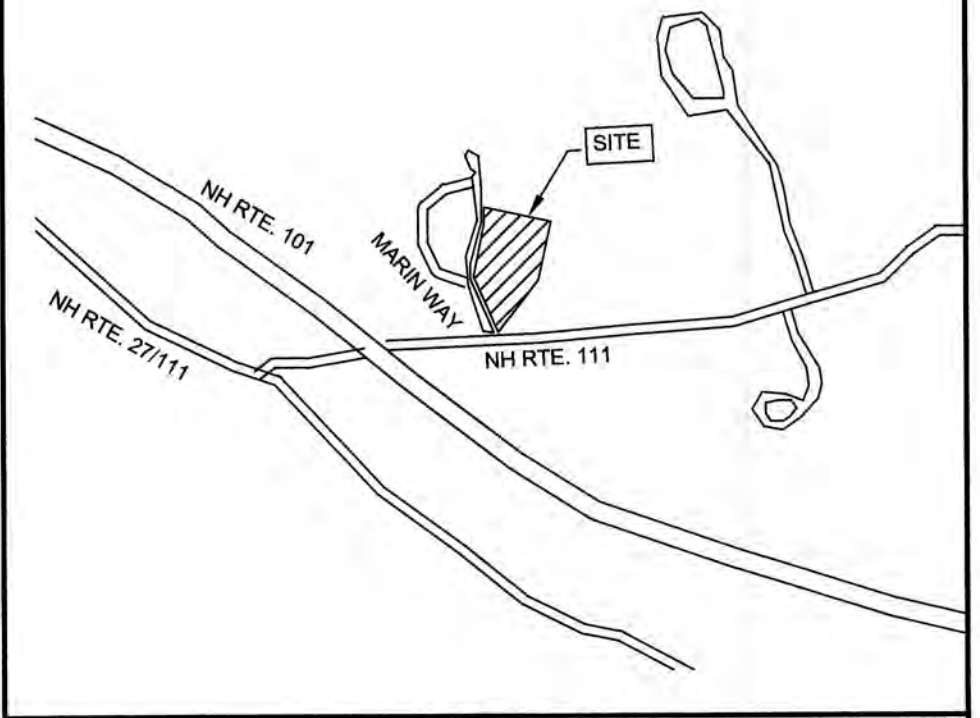
7/3
HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT

7 HAZEN DR
CONCORD, NH 03302



LOCUS

SCALE: 1" = 2000'

SITE NOTES:

1. THE INTENT OF THIS PLAN IS TO EXPAND THE PARKING AT 8 & 2 MARIN WAY.
2. ZONING DISTRICT: INDUSTRIAL
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 40'
REAR SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 40%
MIN. OPEN SPACE = 40%
FRONT OPEN SPACE SETBACK = 25' MIN., 50' AVERAGE
SIDE/REAR OPEN SPACE SETBACK = 25'
LOT 9: EXISTING BUILDING COVERAGE = 21.3%
LOT 10: EXISTING BUILDING COVERAGE = 18.5%
LOT 9: OPEN SPACE PROPOSED = 51%
LOT 10: OPEN SPACE PROPOSED = 44%
3. PARKING CALCULATIONS:
72 EXISTING PARKING SPACES
8 EXISTING PARKING SPACES BEING ELIMINATED
150 NEW PARKING SPACES PROPOSED
214 TOTAL PARKING SPACES AFTER CONSTRUCTION
7. THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED. CONTRACTOR TO ALWAYS CONTACT DIG SAFE PRIOR TO DIGGING ONSITE OR OFFSITE TO ENSURE SAFETY AND OBEY THE LAW.
8. SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0410E, DATED MAY 17, 2005.
9. ALL CONSTRUCTION SHALL CONFORM TO TOWN STANDARDS AND REGULATIONS, AND NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, WHICHEVER IS MORE STRINGENT.
10. LANDOWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WETLAND REGULATIONS, INCLUDING PERMITTING REQUIRED UNDER THESE REGULATIONS.
11. ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.). THIS DOCUMENT IS TO BE KEPT ONSITE AT ALL TIMES AND UPDATED AS REQUIRED.
12. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, FEES AND BONDS.
13. ALL PROPOSED SIGNAGE SHALL CONFORM WITH THE TOWN ZONING REGULATIONS, UNLESS A VARIANCE IS OTHERWISE REQUESTED.
14. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.) AND NHDOT STANDARDS AND SPECIFICATIONS (NON-REFLECTORIZED PAVEMENT MARKINGS), UNLESS OTHERWISE NOTED.
15. ALL PARKING STALLS SHALL BE SEPARATED USING 4" WIDE SOLID STRIPES. STRIPING SHALL HAVE TWO COATS OF PAINT, ALKYL BASIN SYNTHETIC RESIN, FEDERAL SPECIFICATION TTP-115 TYPE 1, IN A COLOR OF WHITE.
16. ALL STOP BARS SHALL BE 18" IN WIDTH IN A COLOR OF WHITE; ALL TRAFFIC ARROWS SHALL BE PAINTED IN A COLOR OF WHITE.
17. SNOW TO BE STORED AT EDGE OF PAVEMENT AND IN AREAS SHOWN ON THE PLANS, OR TRUCKED OFFSITE TO AN APPROVED SNOW DUMPING LOCATION.
18. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.

APPROVED - STRATHAM, NH
PLANNING BOARD

DATE:

Design: JAC Draft: DJM Date: 4/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg

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0	4/29/20	ISSUED FOR REVIEW	DJM

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Civil Engineering Services

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603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:

SITE PLAN

Project:

H. D. SMITH PARKING EXPANSION
TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH

Owner of record:

S.I.P. LOT 3, LLC
P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

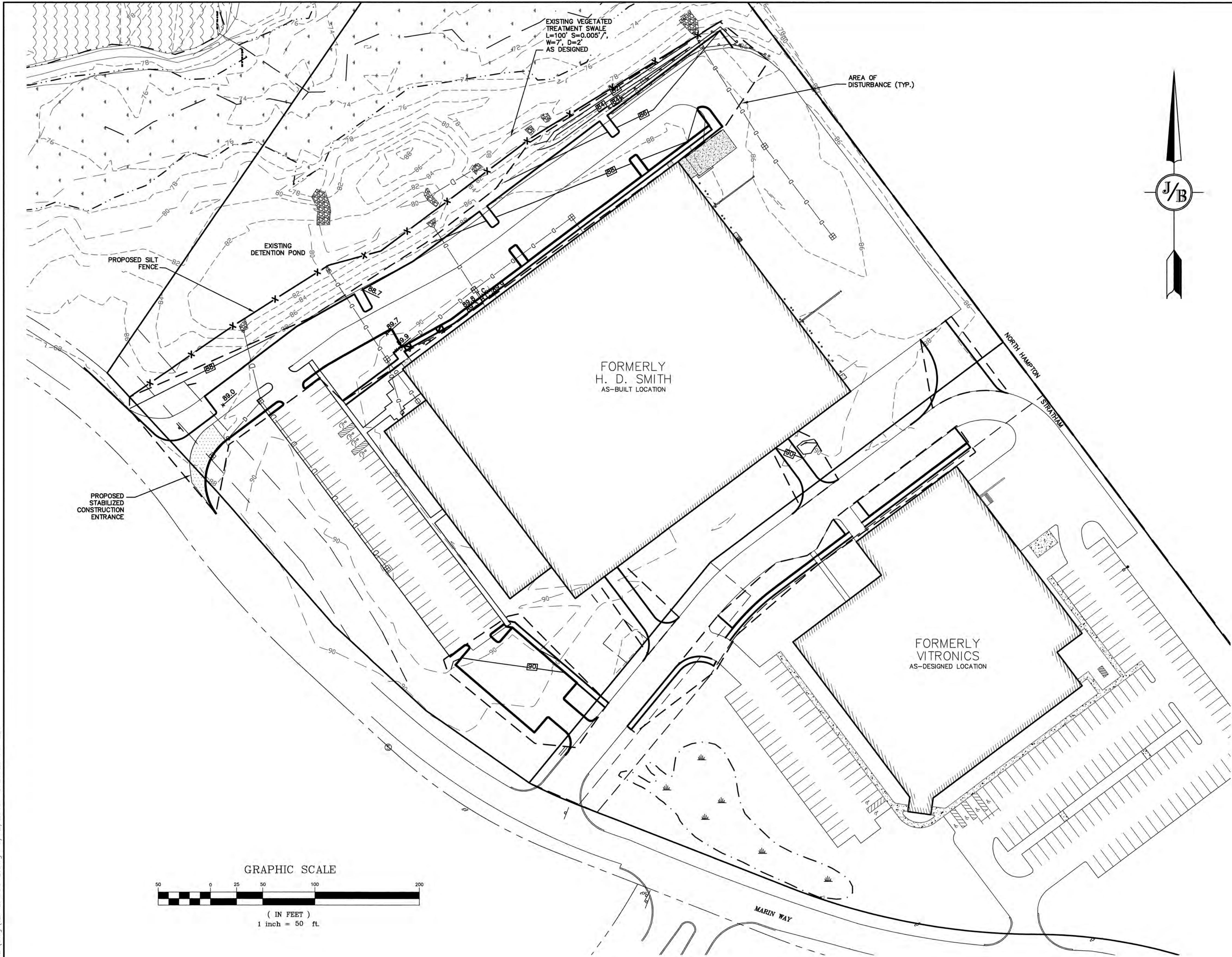
C2

SHEET 4 OF 11
JBE PROJECT NO. 19226

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

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GRADING AND DRAINAGE NOTES:

1. UNDERGROUND FACILITIES, UTILITIES AND STRUCTURES HAVE BEEN PLOTTED FROM FIELD OBSERVATION AND THEIR LOCATION MUST BE CONSIDERED APPROXIMATE ONLY. NEITHER JONES & BEACH ENGINEERS, INC., NOR ANY OF THEIR EMPLOYEES TAKE RESPONSIBILITY FOR THE LOCATION OF ANY UNDERGROUND STRUCTURES AND/OR UTILITIES NOT SHOWN THAT MAY EXIST. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL UNDERGROUND STRUCTURES AND/OR UTILITIES LOCATED PRIOR TO EXCAVATION WORK BY CALLING 888-DIG-SAFE (888-344-7233).
2. ALL BENCHMARKS AND TOPOGRAPHY SHOULD BE FIELD VERIFIED BY THE CONTRACTOR.
3. SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED. SEE CONSTRUCTION SEQUENCE ON SHEET E1.
4. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT'S LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED.
5. PROPOSED SWALE IS TO BE STABILIZED PRIOR TO DIRECTING RUNOFF TO IT.
6. ALL SWALES AND ANY SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER), UNLESS OTHERWISE SPECIFIED.
7. IN AREAS WHERE CONSTRUCTION IS PROPOSED ADJACENT TO ABUTTING PROPERTIES, THE CONTRACTOR SHALL INSTALL ORANGE CONSTRUCTION FENCING ALONG PROPERTY LINES IN ALL AREAS WHERE SILT FENCING IS NOT REQUIRED.
8. STONE INLET PROTECTION SHALL BE PLACED AT ALL CATCH BASINS. SEE DETAIL WITHIN THE DETAIL SHEETS.
9. LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY ALL GOVERNING AUTHORITIES. THE GENERAL CONTRACTOR SHALL STRICTLY ADHERE TO THE EPA SWPPP DURING CONSTRUCTION OPERATIONS.
10. NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
11. ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 3 DAYS OF FINAL GRADING.
12. SHOULD CONSTRUCTION STOP FOR LONGER THAN 3 DAYS, THE SITE SHALL BE SEEDED AS SPECIFIED.
13. MAINTAIN EROSION CONTROL MEASURES AFTER EACH RAIN EVENT OF 0.5" OR GREATER IN A 24 HOUR PERIOD AND AT LEAST ONCE A WEEK.
14. THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE, AS THE GENERAL CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SEDIMENT FROM LEAVING THE SITE.
15. CONSTRUCTION VEHICLES SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE TO THE EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
25. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
16. SEDIMENT SHALL BE REMOVED FROM ALL SEDIMENT BASINS BEFORE THEY ARE 25% FULL.
17. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
18. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED, IF DEEMED NECESSARY BY ON-SITE INSPECTION BY ENGINEER AND/OR REGULATORY OFFICIALS.
19. SEE ALSO EROSION AND SEDIMENT CONTROL SPECIFICATIONS ON SHEET E1.
20. AREA OF DISTURBANCE = 89,000 S.F.±

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC Draft: DJM Date: 04/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg
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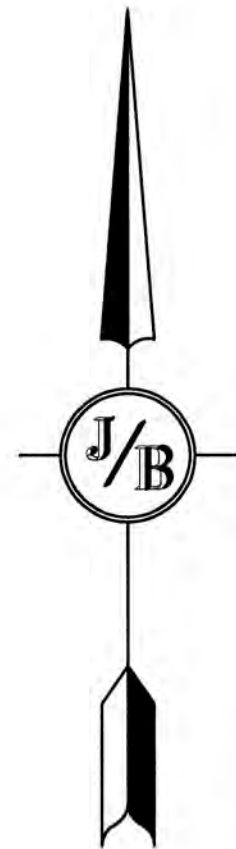
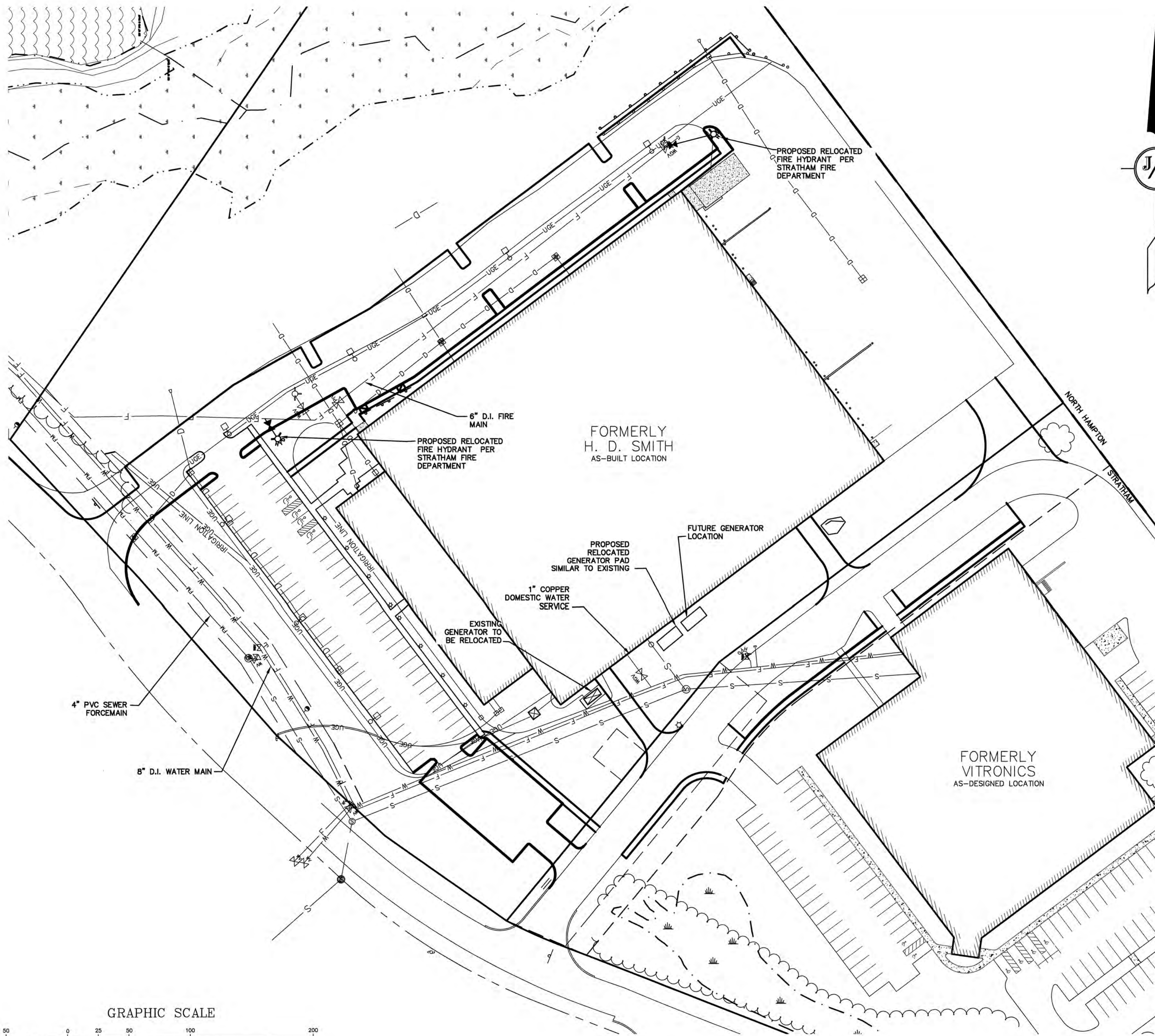


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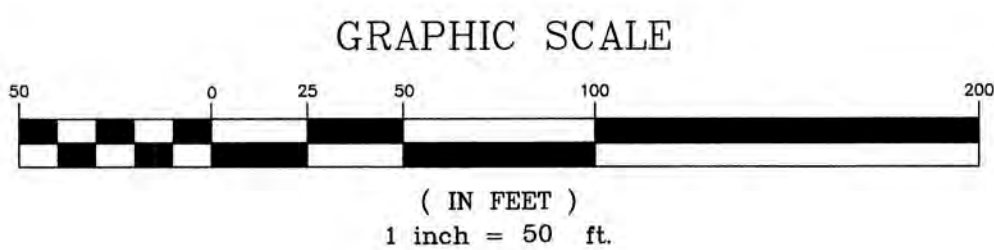
Plan Name: **GRADING AND DRAINAGE PLAN**
Project: **H. D. SMITH PARKING EXPANSION**
TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record: **S.I.P. LOT 3, LLC**
P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
C3
SHEET 5 OF 11
JBE PROJECT NO. 19226



UTILITY NOTES:

1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY.
4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT.
6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
10. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
11. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
12. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
13. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.



PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC Draft: DJM Date: 04/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg
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REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

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PO Box 219
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Civil Engineering Services
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603-772-4746
FAX: 603-772-0227

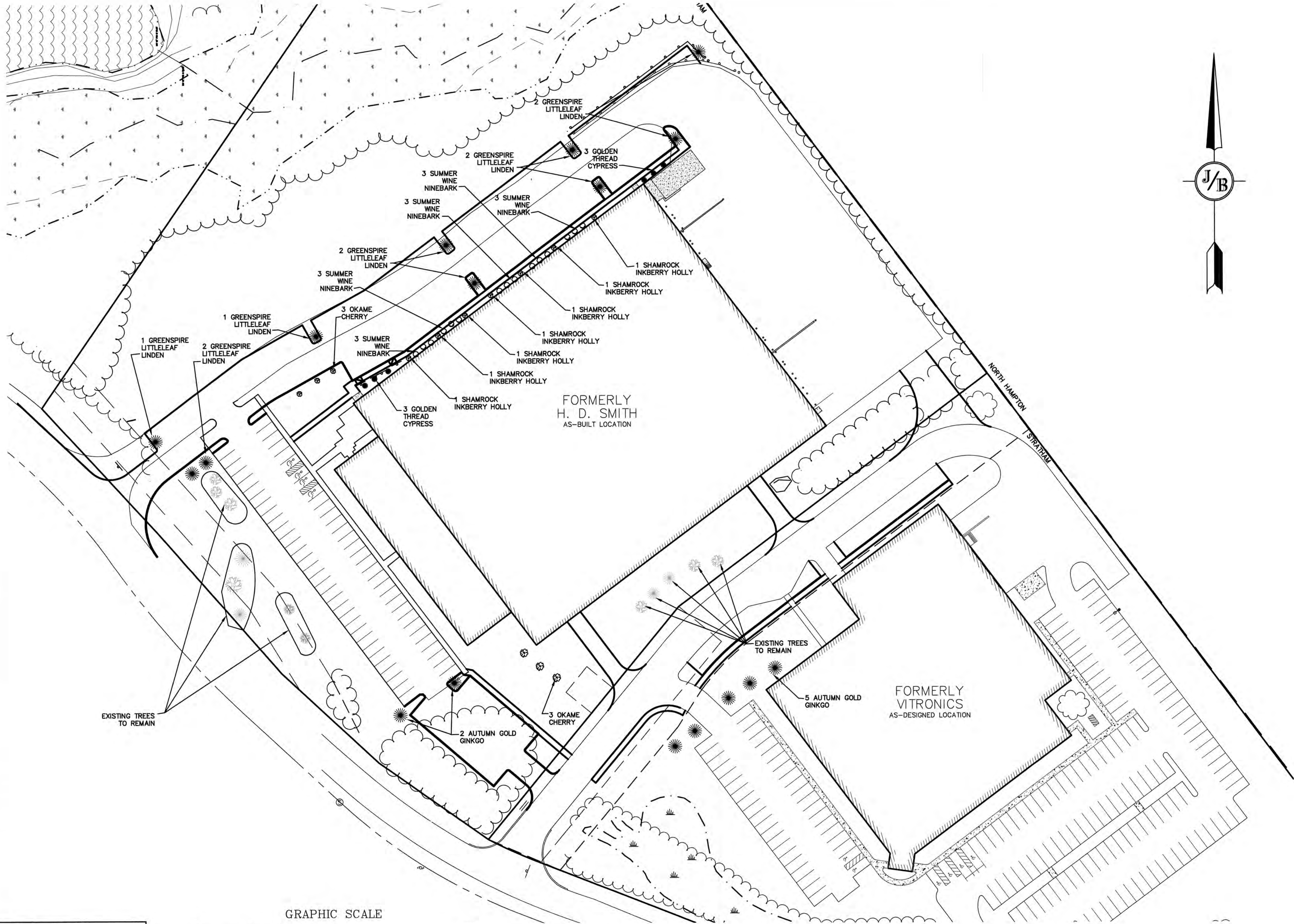
Plan Name:	UTILITY PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

C4

SHEET 6 OF 11
JBE PROJECT NO. 19226

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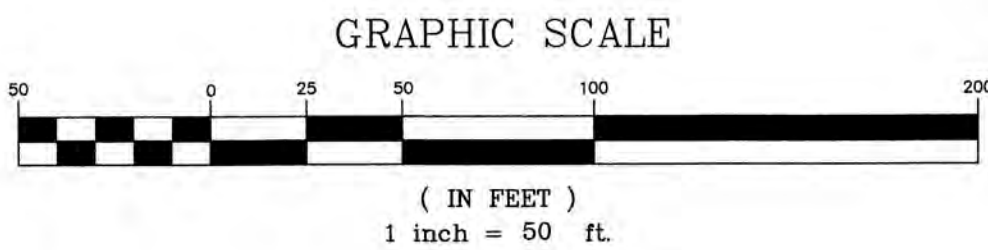


LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED OR SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED.
9. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS IN UNHEALTHY OR UNSIGHTLY CONDITION.
12. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
13. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
14. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE.
15. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
16. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
17. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
18. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO 'WEEDBLOCK' BY EASY GARDENER OR DEWITT WEED BARRIER.
19. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
20. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES



Design: JAC Draft: DJM Date: 04/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg

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Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave. PO Box 219 Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LANDSCAPE PLAN**

Project: **H. D. SMITH PARKING EXPANSION
TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH**

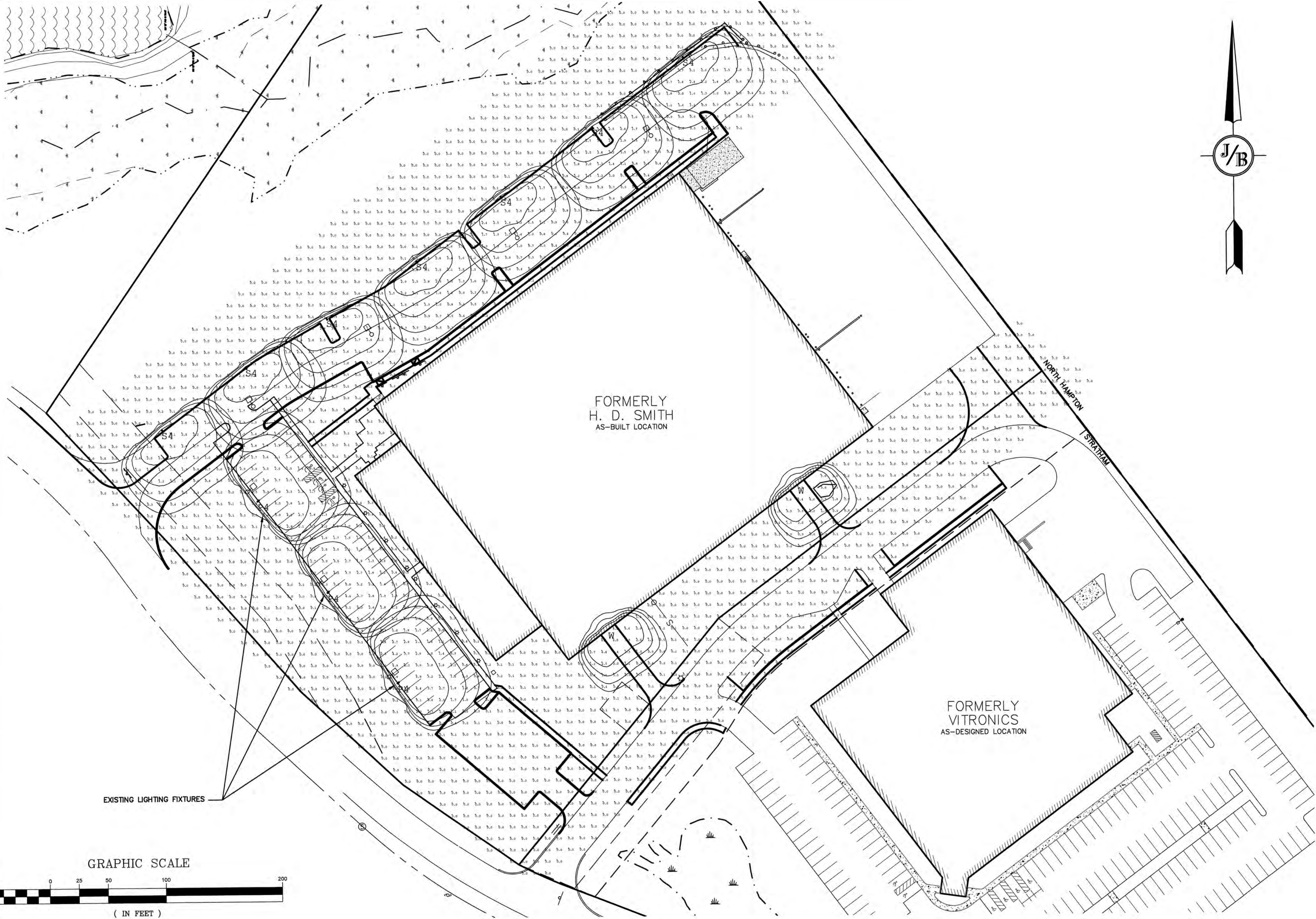
Owner of Record: **S.I.P. LOT 3, LLC
P.O. BOX 432, STRATHAM, NH 03885**

DRAWING No.

L1

SHEET 7 OF 11
JBE PROJECT NO. 19226

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LIGHTING AND ELECTRICAL NOTES:

1. SITE ELECTRICAL CONTRACTOR SHALL COORDINATE LOCATION OF EASEMENTS, UNDERGROUND UTILITIES AND DRAINAGE BEFORE DRILLING POLE BASES.
2. CONTRACTOR SHALL INSTALL PROPOSED LIGHT POLES ACCORDING TO TOWN REGULATIONS.
3. ALL OUTDOOR LIGHTING SYSTEMS SHALL BE EQUIPPED WITH TIMERS TO REDUCE ILLUMINATION LEVELS TO NON-OPERATIONAL VALUES PER TOWN REGULATIONS.
4. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
5. ILLUMINATION READINGS SHOWN ARE BASED ON A TOTAL LLF OF 0.75 AT GRADE. ILLUMINATION READINGS SHOWN ARE IN UNITS OF FOOT-CANDLES.
6. LIGHTING CALCULATIONS SHOWN ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM AND SAFETY.
7. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF DARK-SKY COMPLIANT, UNLESS OTHERWISE NOTED.
8. THE PROPOSED LIGHTING CALCULATIONS AND DESIGN WAS PERFORMED BY CHARRON, INC., P.O. BOX 4550, MANCHESTER, NH 03108, ATTENTION KEN SWEENEY. ALL LIGHTS SHOULD BE PURCHASED FROM THIS COMPANY OR ONE OF THEIR SUPPLIERS, OR AN EQUAL. LIGHTING DESIGN SHOULD BE SUBMITTED FOR REVIEW IF EQUAL SUBSTITUTIONS ARE PROPOSED BY THE CONTRACTOR OR OWNER.

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description
	7	S4	SINGLE	GLEON-AE-02-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
	3	P4	SINGLE	GLEON-AF-03-LED-E1-SL4-HSS/ SSS4A20SFN1 (20' AFG)
	2	W	SINGLE	GWC-AF-02-LED-E1-SL4-600/ WALL MTD 12' AFG

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.88 ACRES

Design: JAC Draft: DJM Date: 04/23/20
Checked: JAC Scale: AS NOTED Project No.: 19226
Drawing Name: 19226-PLAN.dwg

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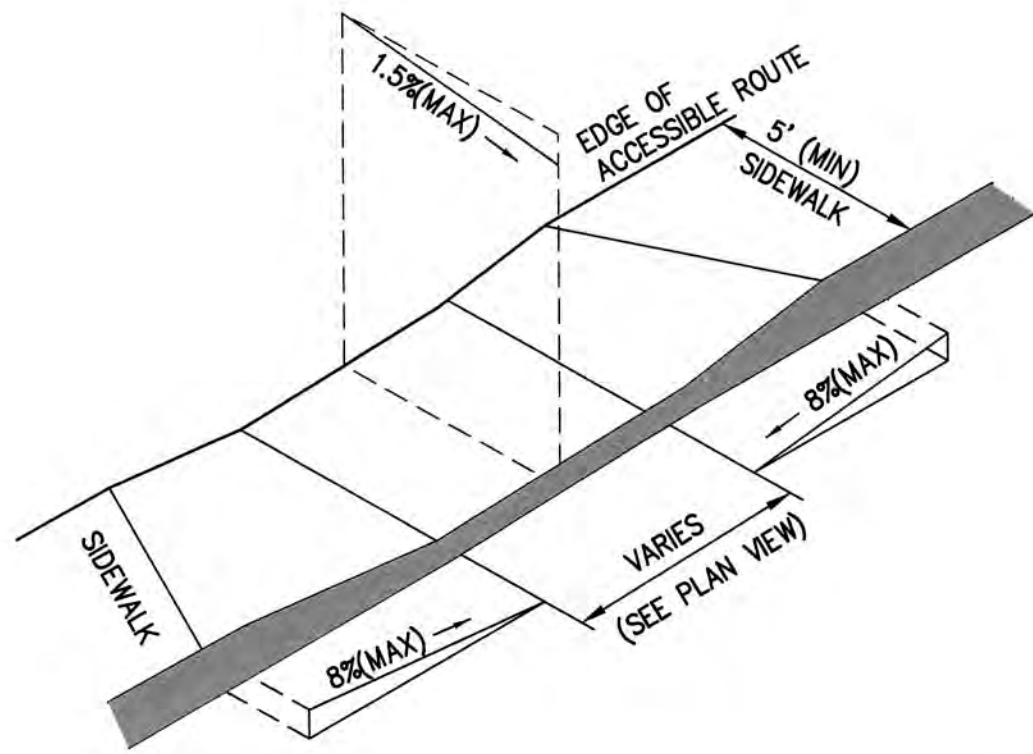
Designed and Produced in NH
J/B Jones & Beach Engineers, Inc.
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name: **LIGHTING PLAN**
Project: **H. D. SMITH PARKING EXPANSION
TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH**
Owner of Record: **S.T.P. LOT 3, LLC
P.O. BOX 432, STRATHAM, NH 03885**

DRAWING No.

L2

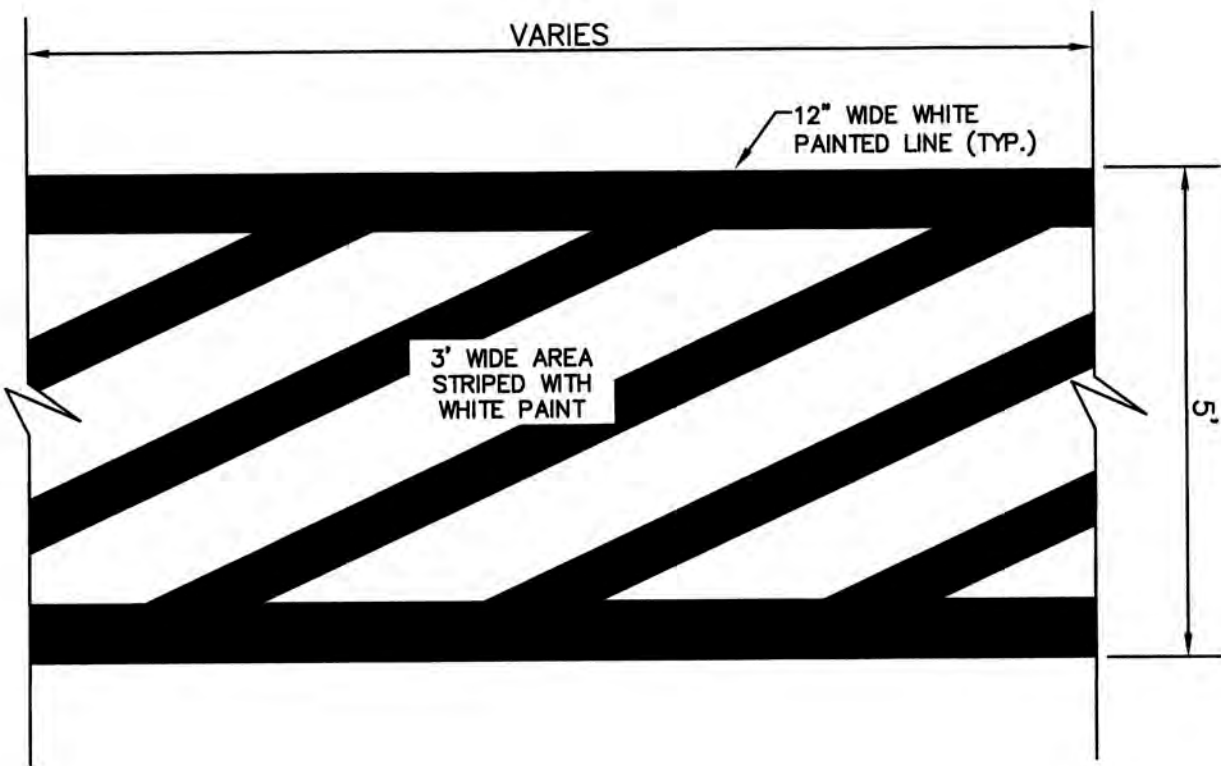
SHEET 8 OF 11
JBE PROJECT NO. 19226



- NOTES:**
1. THE MAXIMUM ALLOWABLE CROSS SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) AND CURB SHALL BE 1.5%.
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE (SIDEWALK) CURB RAMPS SHALL BE 8%.
 4. A MINIMUM OF 4 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.).
 5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
 6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SECTION FOR RAMP CONSTRUCTION.

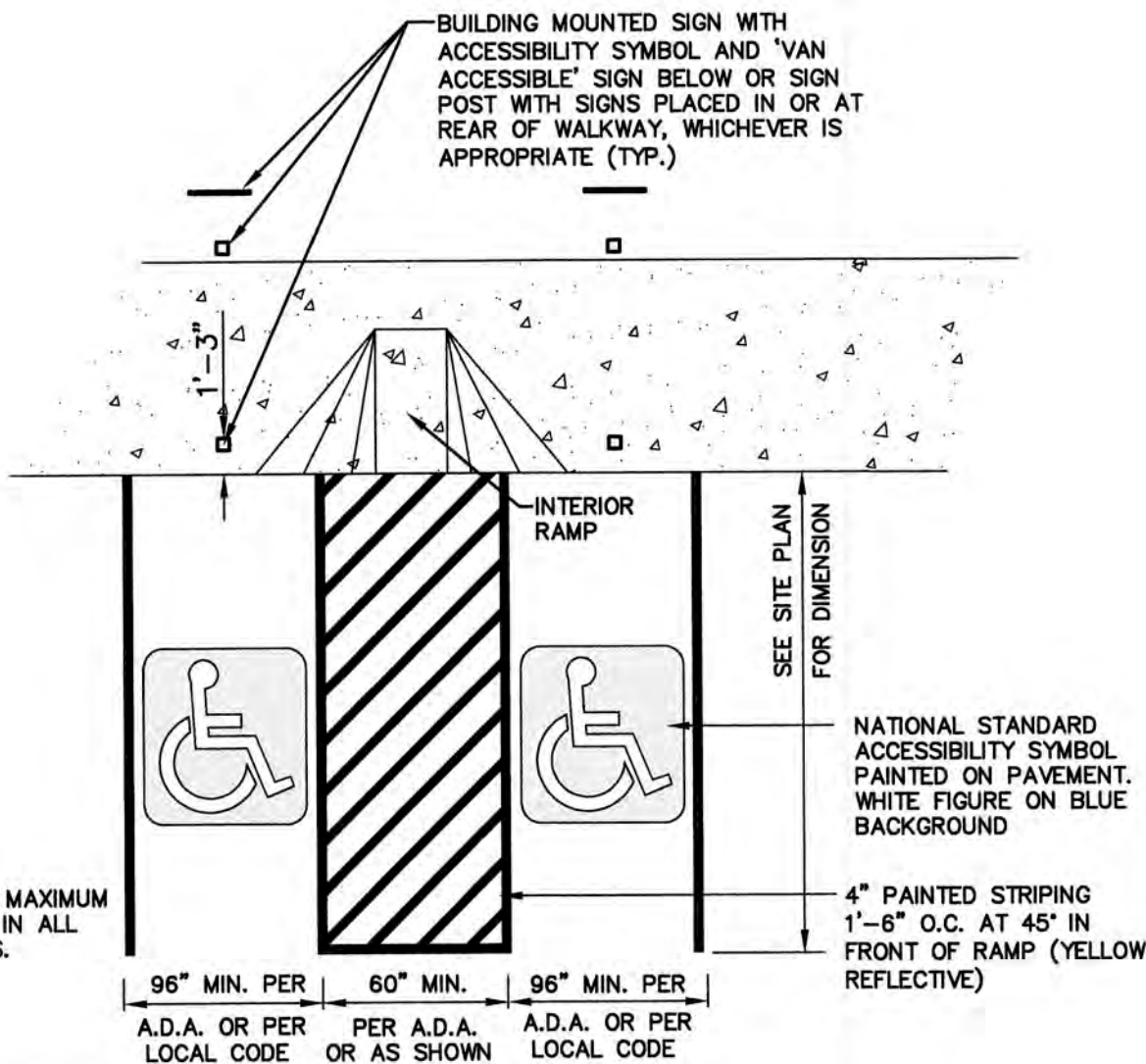
ACCESSIBLE CURB RAMP (TYPE 'A')

NOT TO SCALE



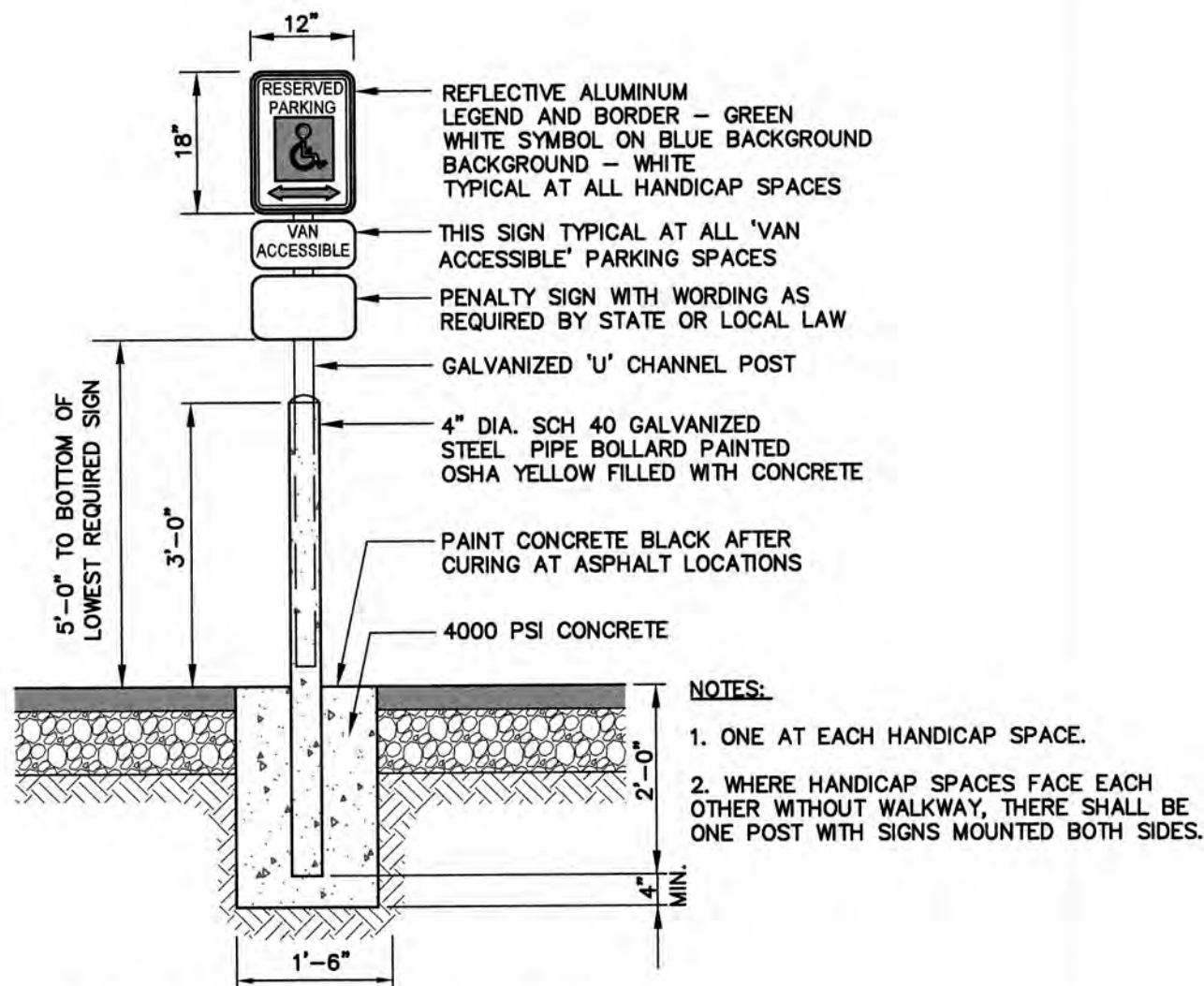
PAINTED CROSSWALK DETAIL

NOT TO SCALE



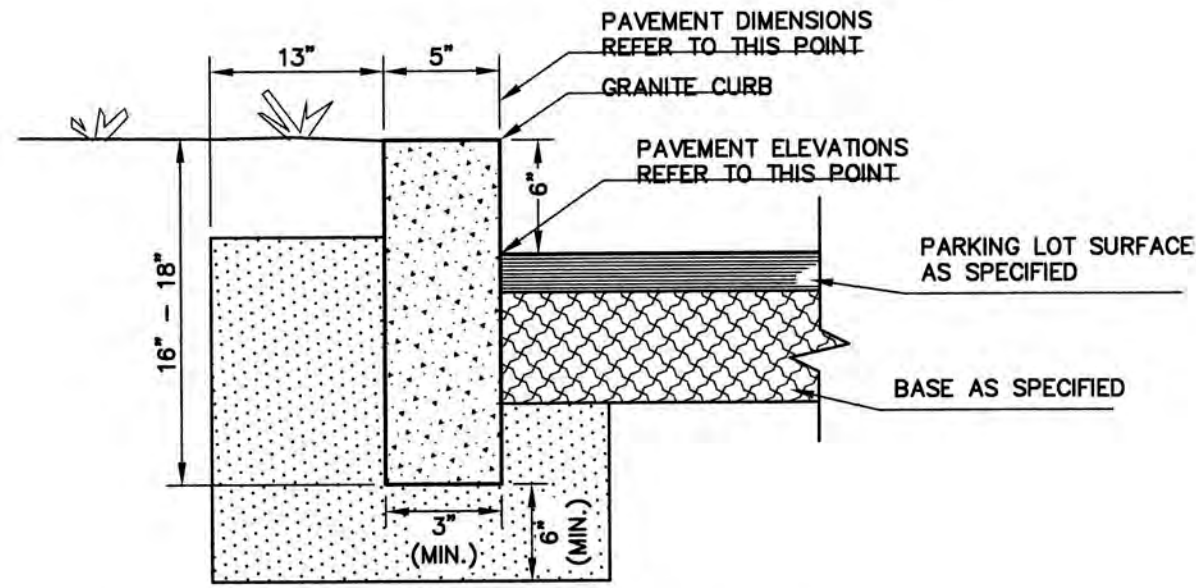
HANDICAP PARKING LAYOUT

NOT TO SCALE



HANDICAP PARKING SIGN (R7-8)

NOT TO SCALE

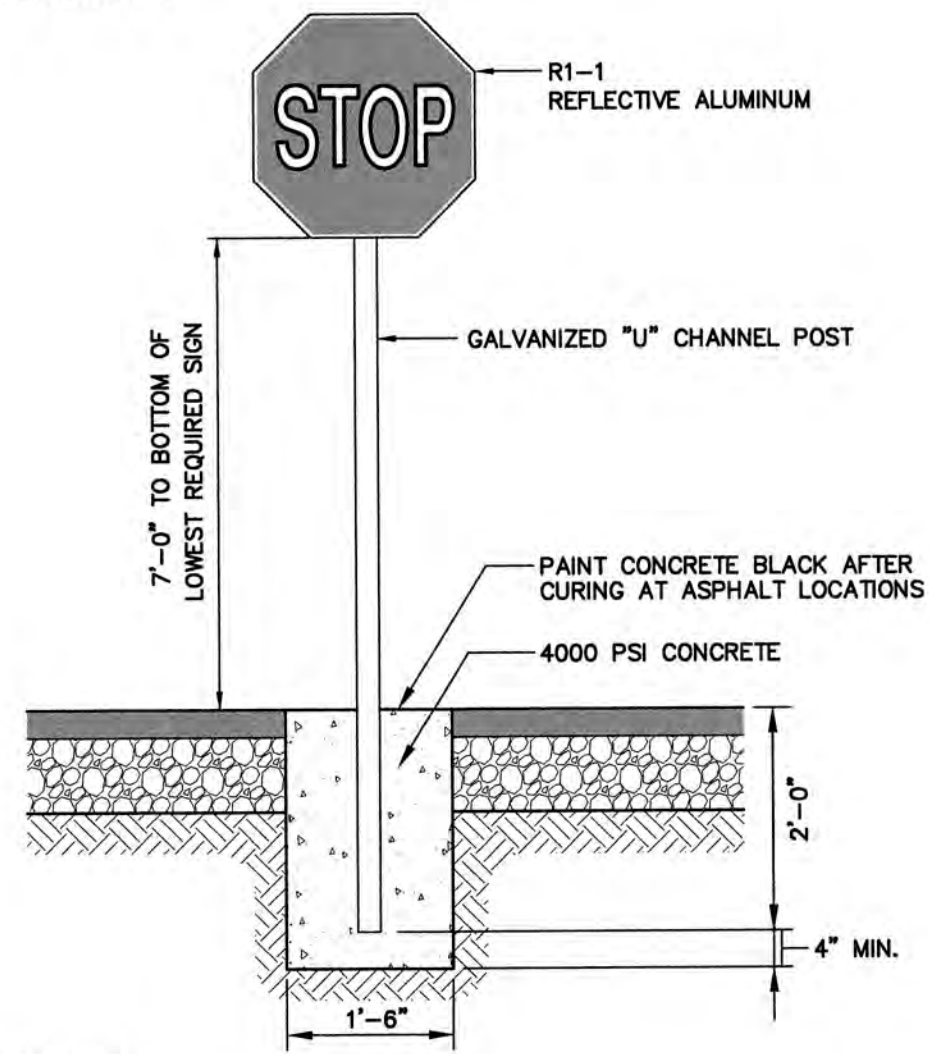


NOTES:

1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.

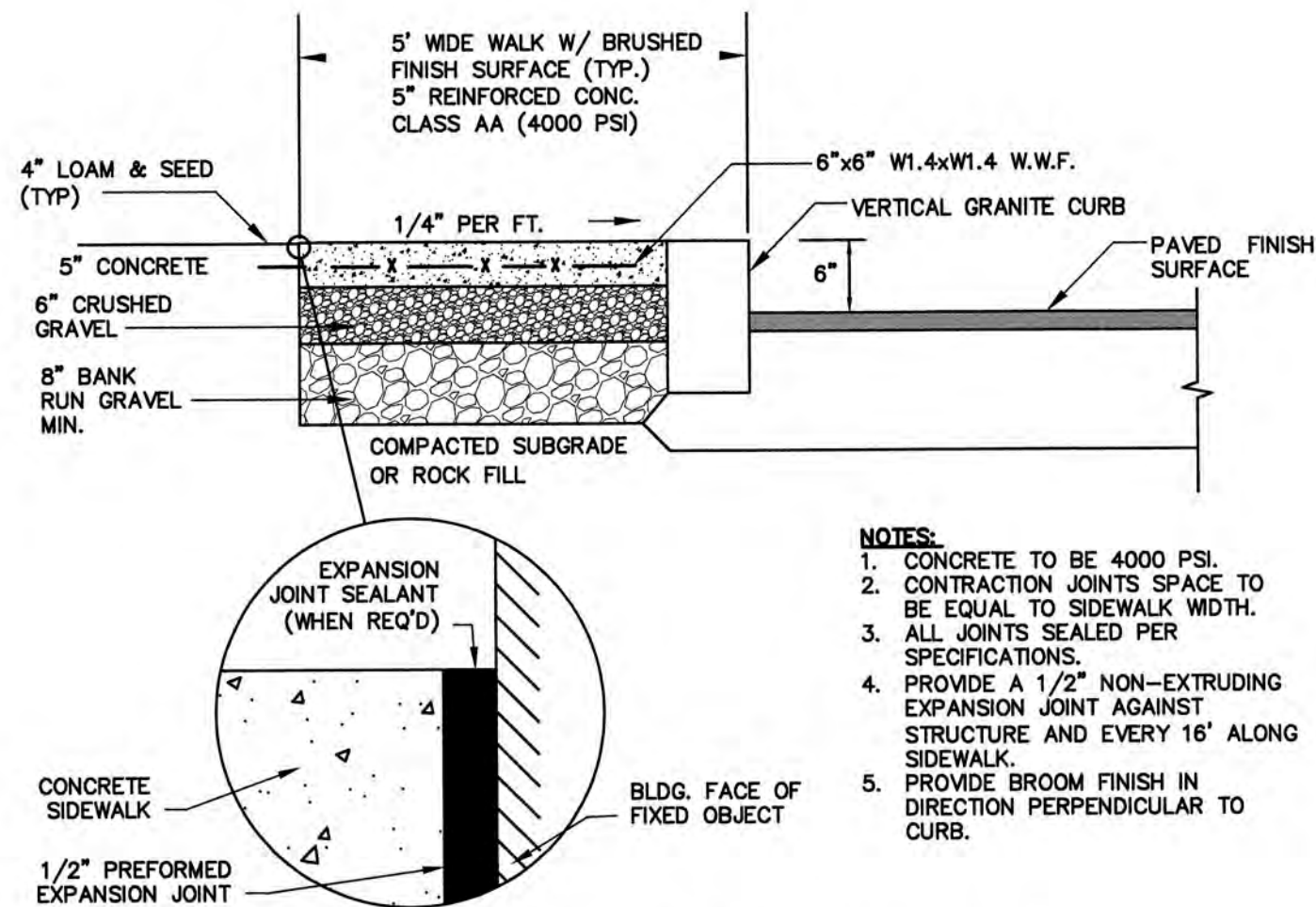
VERTICAL GRANITE CURB

NOT TO SCALE



STOP SIGN (R1-1)

NOT TO SCALE

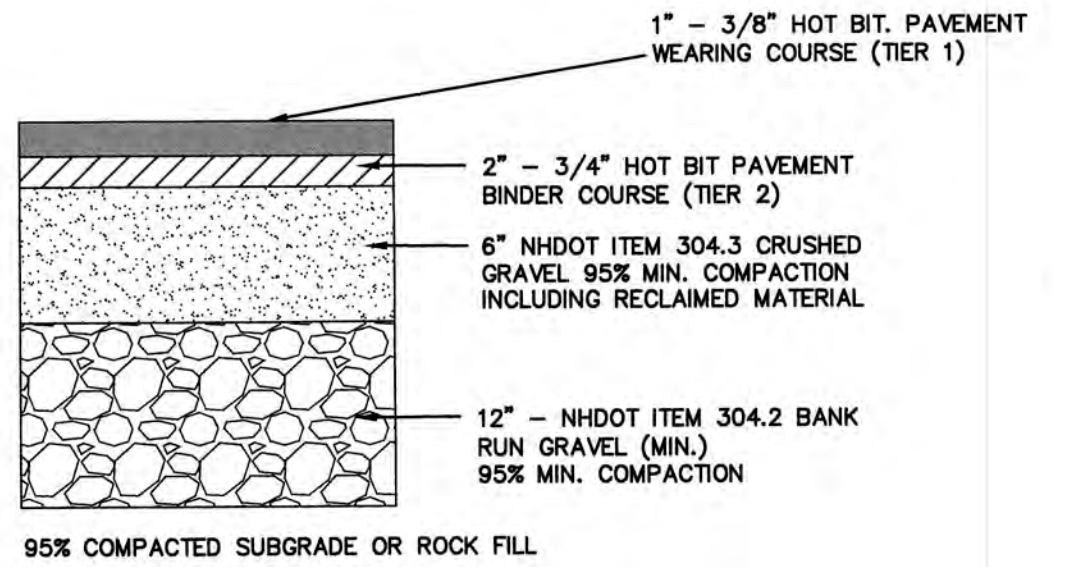


NOTES:

1. CONCRETE TO BE 4000 PSI.
2. CONTRACTION JOINTS SPACE TO BE EQUAL TO SIDEWALK WIDTH.
3. ALL JOINTS SEALED PER SPECIFICATIONS.
4. PROVIDE A 1/2" NON-EXTRUDING EXPANSION JOINT AGAINST STRUCTURE AND EVERY 16' ALONG SIDEWALK.
5. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

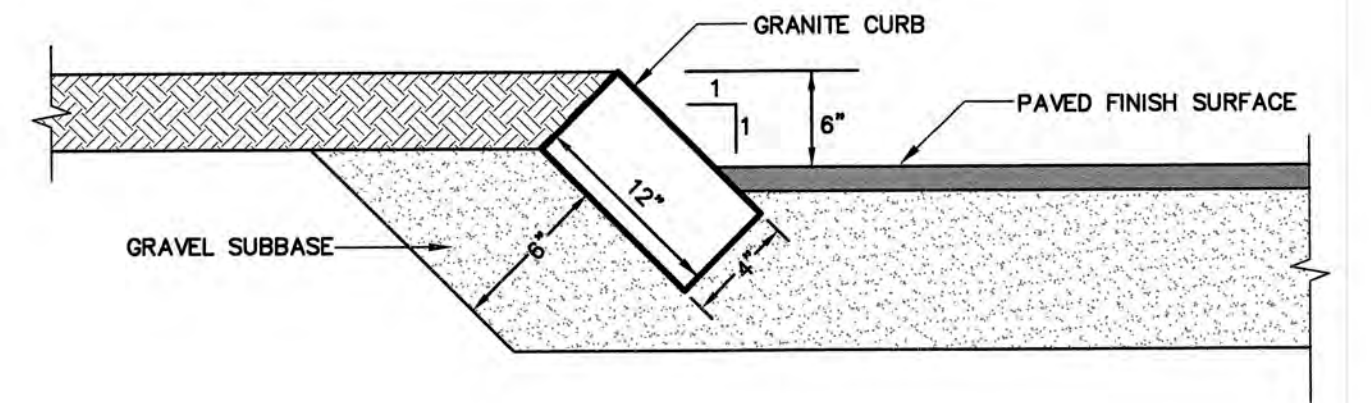
CONCRETE SIDEWALK W/ VERTICAL GRANITE CURB

NOT TO SCALE



TYPICAL BITUMINOUS PAVEMENT

NOT TO SCALE

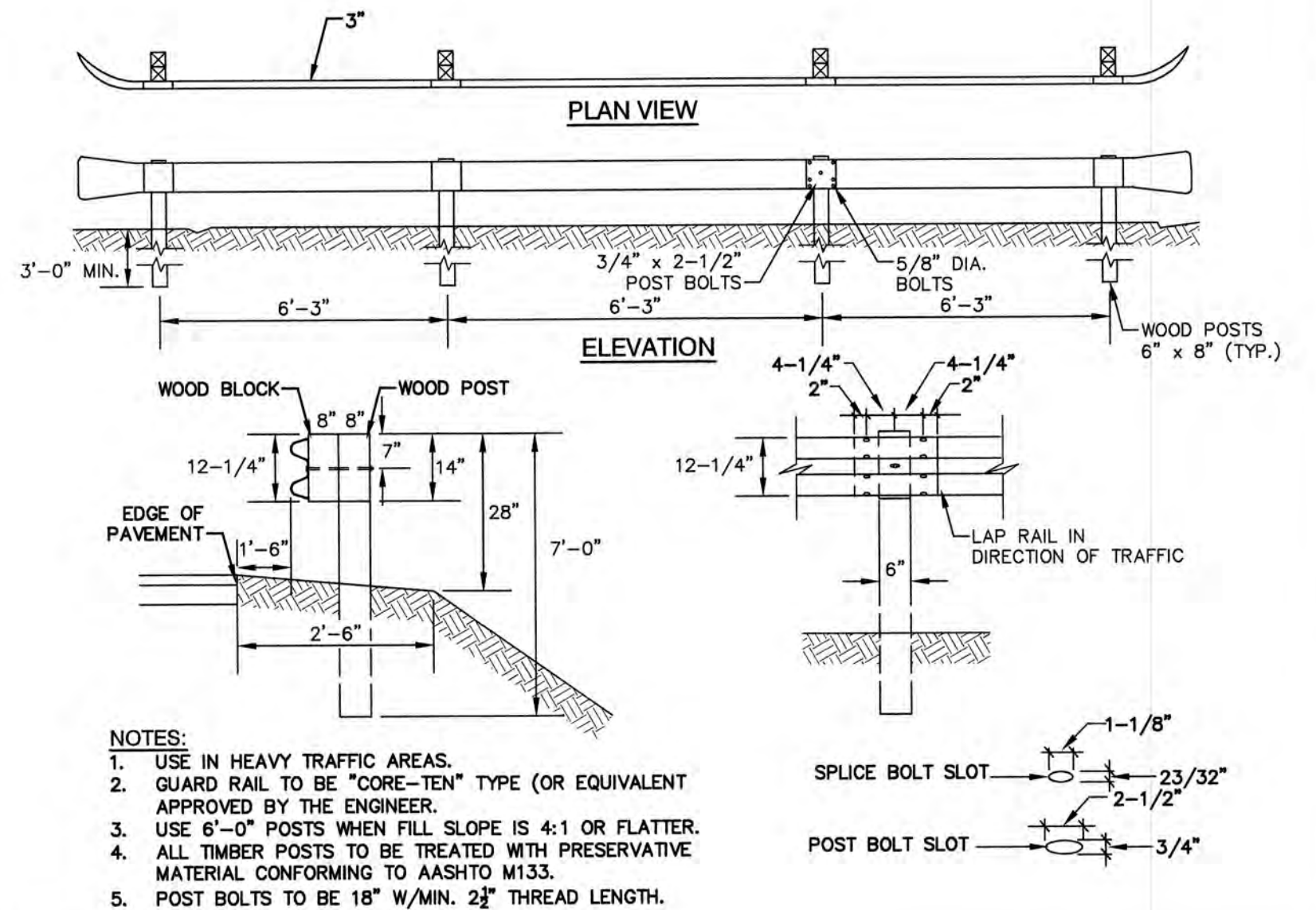


NOTES:

1. EDGING TO BE PLACED PRIOR TO PLACING TOP SURFACE COURSE.
2. JOINTS BETWEEN STONES SHALL BE MORTARED.
3. SALVAGE GRANITE CURBS ON-SITE AND RESET TO THE EXTENT POSSIBLE.

SLOPED GRANITE CURB

NOT TO SCALE



NOTES:

1. USE IN HEAVY TRAFFIC AREAS.
2. GUARD RAIL TO BE "CORE-TEN" TYPE (OR EQUIVALENT APPROVED BY THE ENGINEER).
3. USE 6'-0" POSTS WHEN FILL SLOPE IS 4:1 OR FLATTER.
4. ALL TIMBER POSTS TO BE TREATED WITH PRESERVATIVE MATERIAL CONFORMING TO AASHTO M133.
5. POST BOLTS TO BE 18" W/MIN. 2 1/2" THREAD LENGTH.

GUARD RAIL (CORE-TEN)

NOT TO SCALE

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY

Designed and Produced in NH

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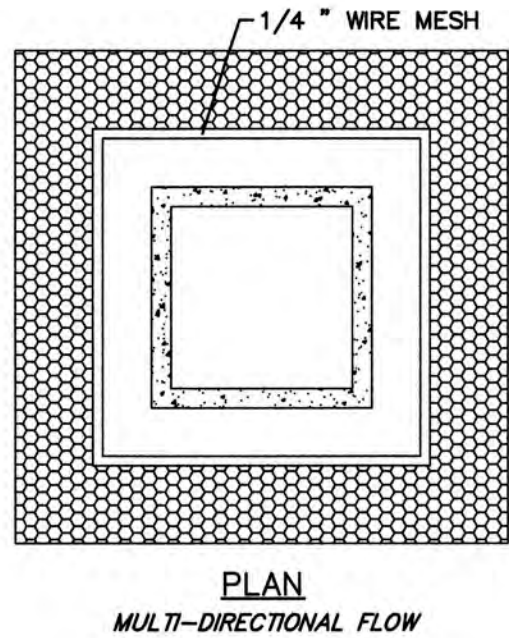
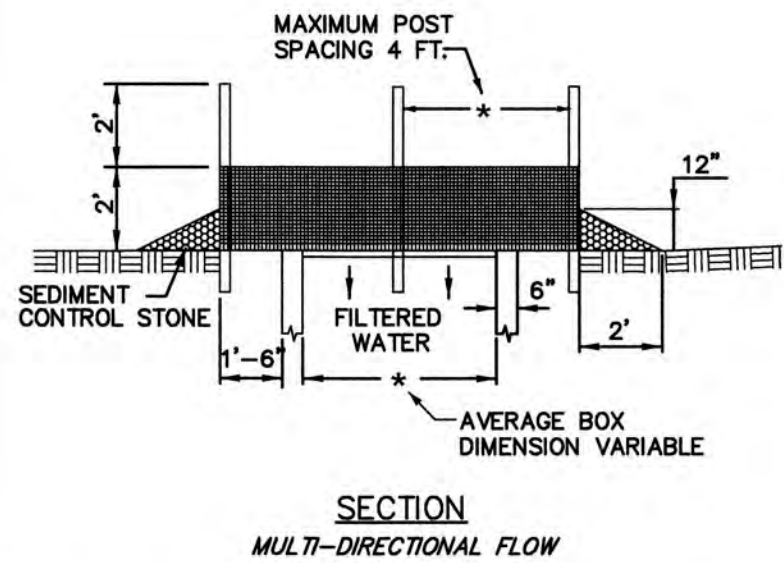
Civil Engineering Services

603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.	D1
SHEET 9 OF 11	JBE PROJECT NO. 19226

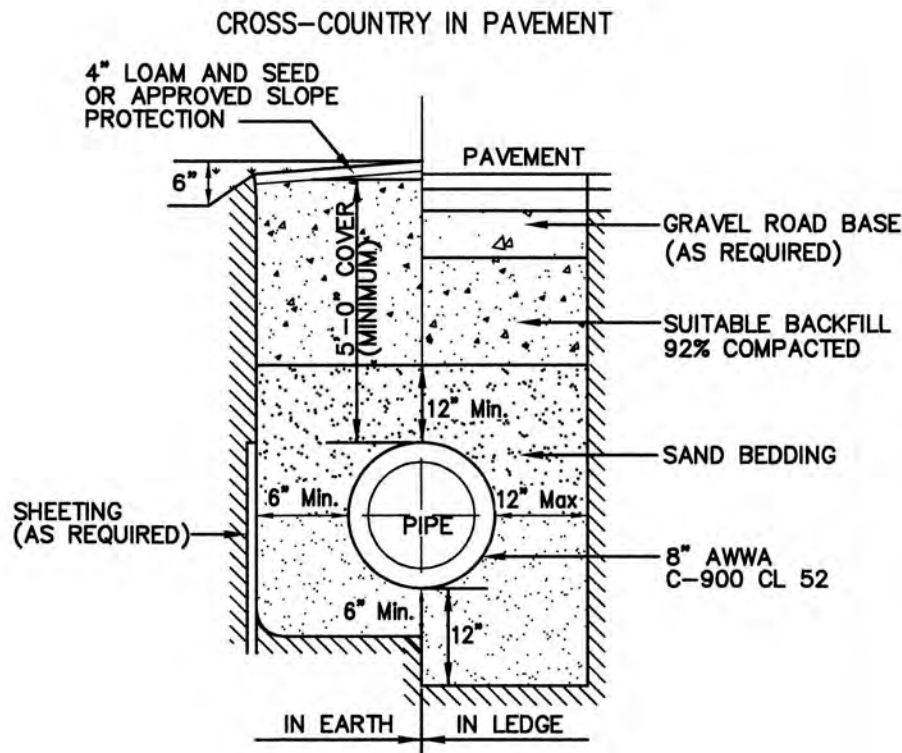
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- NOTES:
1. SEDIMENT CONTROL STONE SHALL BE 3/4" WASHED STONE.
 2. WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4 INCH MESH OPENINGS.
 3. TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
 4. STEEL POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 5. WOOD POST SHALL BE 6 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
 6. POST SPACING SHALL BE A MAXIMUM OF 4 FT.

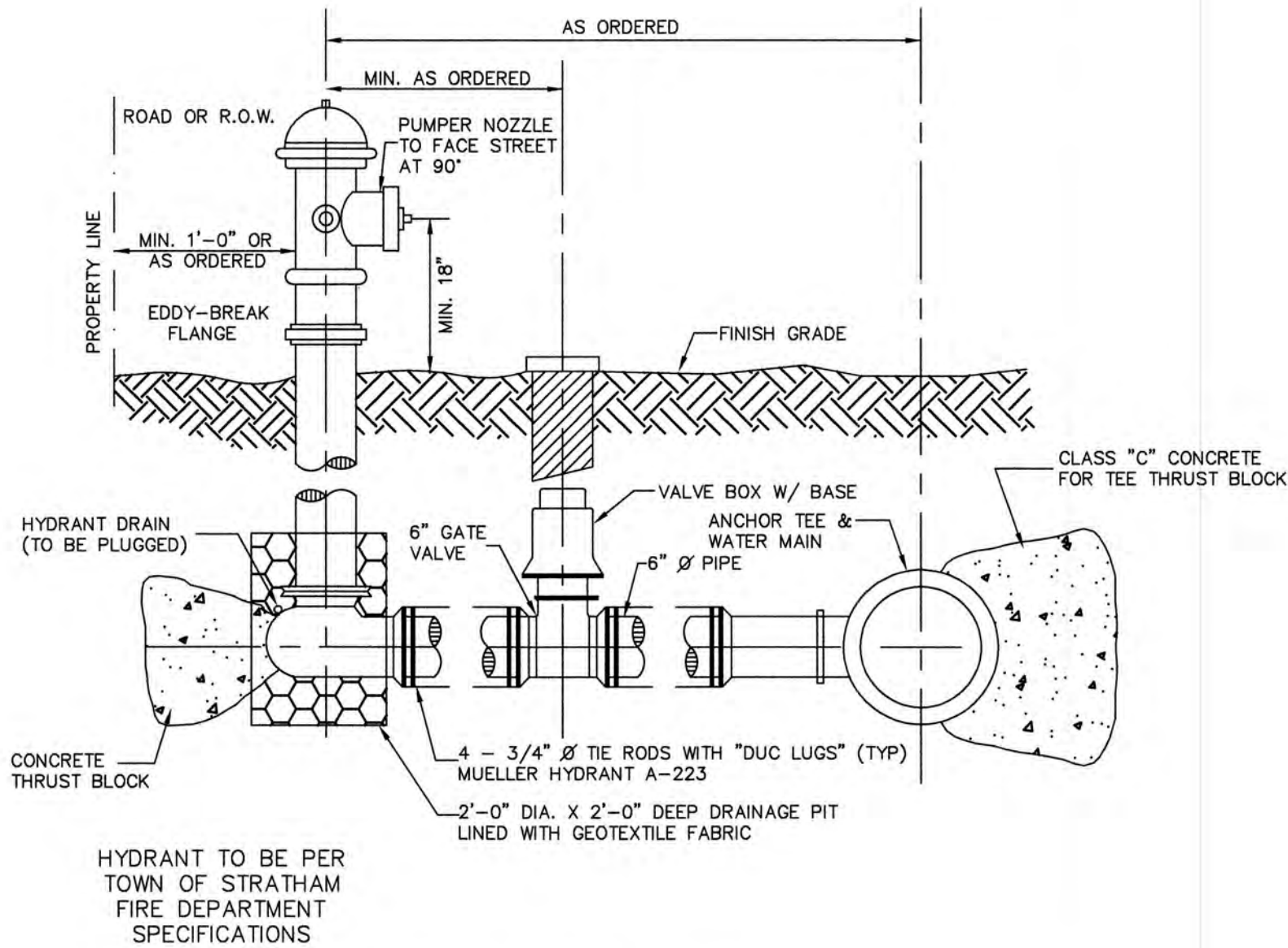
INLET PROTECTION

NOT TO SCALE



WATER SYTEM TRENCH

NOT TO SCALE



- NOTES
1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
 2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
 3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
 4. STEAMER NOZZLE TO BE "STORCH" TYPE.
 5. NATIONAL STANDARD THREAD.

HYDRANT INSTALLATION

NOT TO SCALE

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Drawing Name: 19226-PLAN.dwg		
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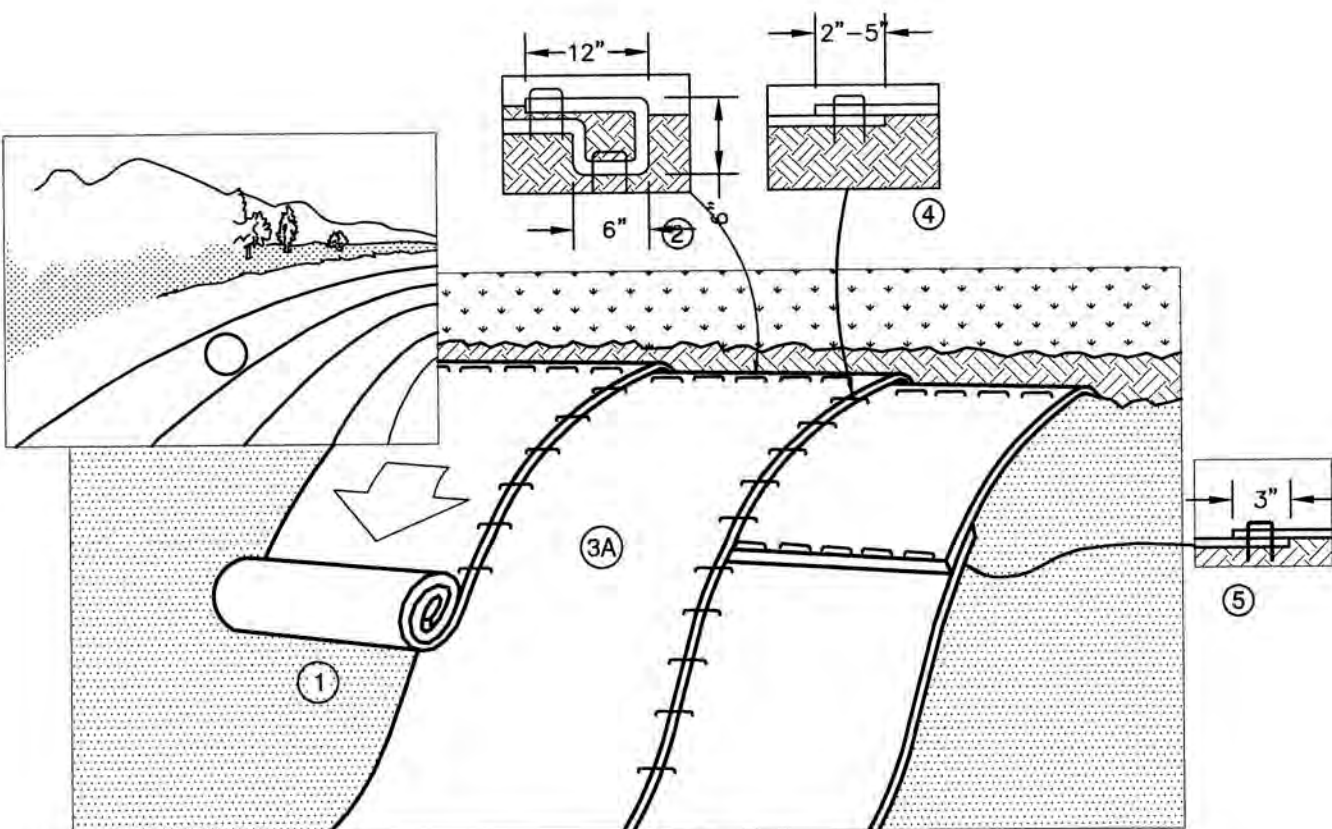
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FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	DETAIL SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.	D2
SHEET 10 OF 11 JBE PROJECT NO. 19226	

TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
- a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



NOTES:

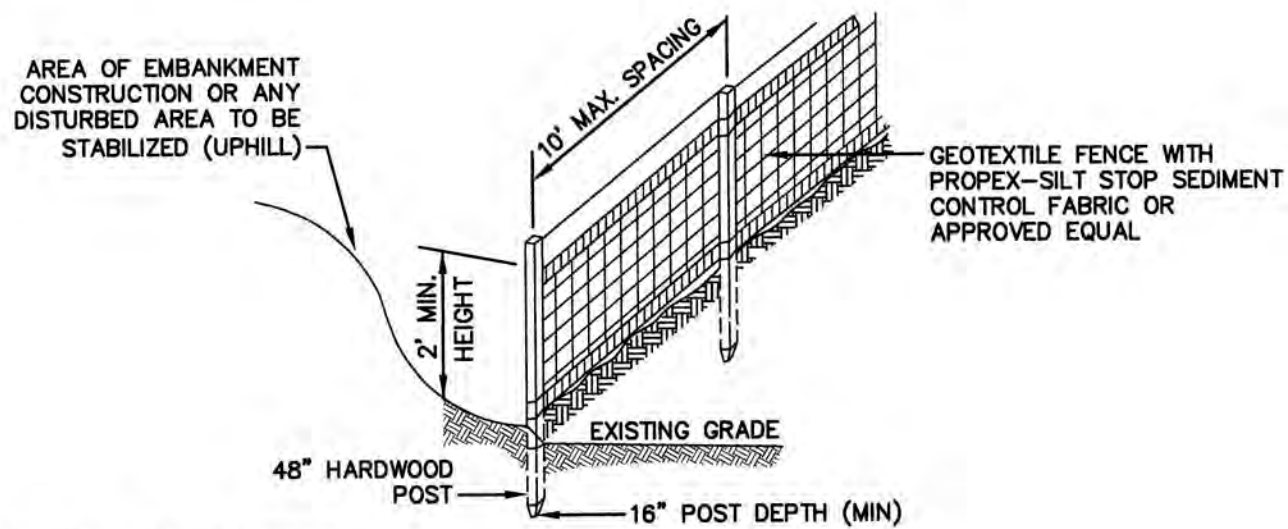
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP. DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.



NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
(North American Green)

NOT TO SCALE

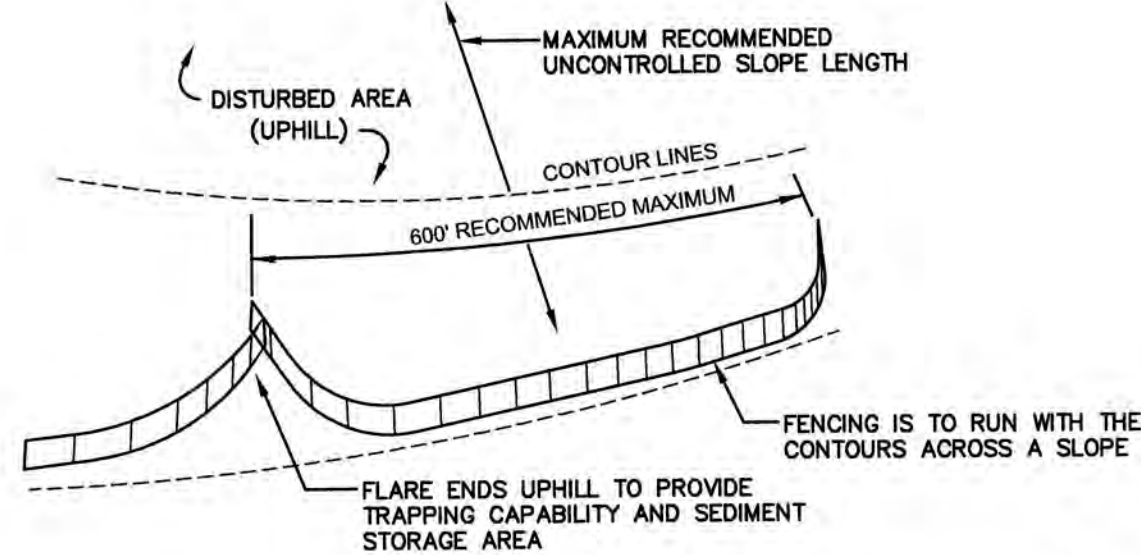


CONSTRUCTION SPECIFICATIONS:

1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
- A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
- A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
- A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTPACKING OR RAKING.
 - C. REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWN VETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. MULCH
- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
5. MAINTENANCE TO ESTABLISH A STAND
- A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP OUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	GOOD
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/2
	F	FAIR	EXCELLENT	EXCELLENT	2/2
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15 10 10 30 40 OR 55	0.35 0.25 0.35 0.75 0.95 OR 1.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOIL TOTAL	20 20 8 48	0.45 0.45 0.20 1.10
D. TALL FESCUE FLAT PEA TOTAL	20 30 50	0.45 0.75 1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/ TOTAL	50 50 100	1.15 1.15 2.30
F. TALL FESCUE 1	150	3.60

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

F:\CADD\MASTER STANDARD.dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		



REV.	DATE	REVISION	BY
0	4/29/20	ISSUED FOR REVIEW	DJM
		REVISION	

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

E1

SHEET 11 OF 11
JBE PROJECT NO. 19226

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

April 29, 2020

Stratham Planning Board
Attn. Tavis Austin
10 Bunker Hill Avenue
Stratham, NH 03885

**RE: Amended Site Plan Application
2 & 8 Marin Way, Stratham, NH
Map 1, Lots 9 & 10
JBE Project No. 19226**

Dear Mr. Austin:

Jones & Beach Engineers, Inc. respectfully submits an Amended Site Plan Application for the above-referenced parcel on behalf of the owner of these two parcels. The intent of this application is to amend the approved site plan to add parking on each of the lots listed above.

The new tenant for the H.D. Smith site requires additional parking and access to the building in order to facilitate their operation. Therefore, we have added parking in the front of the building with a connector over to 2 Marin Way, two direct driveways into the building from 2 Marin Way and an interconnection in the rear of the site to improve efficiency of the truck maneuvers. We are adding 150 parking spaces, sidewalk, curbing to connect the spaces together. There will be landscaped islands approximately every 15 parking spaces.

Some of the additional parking will be located on 2 Marin Way and utilized for the lease holder at 8 Marin Way. These spaces will be dedicated to the tenant at 8 Marin Way for the time being. Someday, that might not be the case if the tenant changes and the next one no longer needs the spaces. We are also requesting a waiver from the Drainage Design calculations regulation.

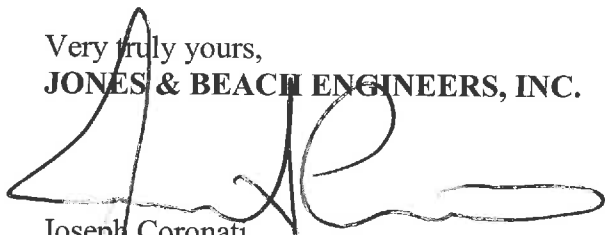
The following items are provided in support of this Amended Site Plan Application:

1. Amended Site Plan Application.
2. Waiver Request.
3. Letter of Authorizations.
4. Copy Deeds.
5. Fee Check.
6. Six (6) Full Size Plan Sets.
7. Nine (9) Reduced Size (11" x 17") Plan Sets.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,

JONES & BEACH ENGINEERS, INC.

A large, stylized handwritten signature in black ink, appearing to read 'J. Coronati', is written over the company name and extends across the line for the title.

Joseph Coronati
Vice President

CC: Rob Graham, Realty Acquisitions, LLC (application and plans via email)



**Town of Stratham, NH
Site Plan Review Application**

Map# 1 Lot# 9 & 10

Project Name: Parking Lot Expansions

Location: 2 & 8 Marin Way, Stratham, NH

Project Description: To amend the previously approved site plan to add an additional 150 parking spaces so there are a total of 214 spaces.

Zone: Ind. New Industrial / Commercial Square Footage: _____
or Number of Residential Units: _____

Applicant:

Name: Rob Graham Phone: 603-479-3666

Company: SIP Lot 3, LLC & SIP-Lot 2, LLC Fax: _____

Address: PO Box 432, Stratham, NH 03885

Owner:

Name: Same as Applicant Phone: _____

Company: _____ Fax: _____

Address: _____

Agent:

Contact Name: Joseph Coronati Phone: 603-772-4746

Company: Jones & Beach Engineers, Inc. Fax: _____

Address: PO Box 219, Stratham, NH 03885

Email Address: jcoronati@jonesandbeach.com

By signing this application, you are agreeing to all rules and regulations of the Town of Stratham, and are agreeing to allow agents of the Town of Stratham to conduct inspections, during normal business hours, of your property, to ensure compliance with all Stratham Zoning and Site Review regulations while your application is under consideration and during any construction and operational phases after approval is granted.

The Signor shall be the owner or the signor shall provide a letter signed by all the property owners giving the signor permission to represent the owner in presentation of this application.

Signed: [Signature] Date: 4/28/20

Fees:

Notification Fee: \$150.00 plus Abutters Fee: 14 Abutters X \$8.00 = \$ 112.00

Site Review Fee*: \$ 100.00 One-Hundred (\$100) dollars for each 1,000 square feet of building construction – with a minimum of one-hundred (\$100) dollars.

Preliminary Consultation as provided for under Section 4.1, a filling fee of \$75.00.

Total Fees: \$ 362.00

See Section 4.2.7 of the Site Review Regulations for fee schedule.
*Additional fees may be charged to cover inspection and review cost.

For Office Use Only

Date Application Received: _____ Total Fees Collected with Application: \$ _____ .00

Abutters List Received: _____ Check List Received: _____

PB Hearing Date: _____ Notice Date: _____ PB Jurisdiction Acceptance Date: _____

5/13/2020 rec'd Ck#000837 (\$75 Prelim Consult & \$362 Site Plan Review) from Sip Lot #3, LLC - DJL

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**Town of Stratham
Site Plan Review Checklist**



Project Name: Parking Lot Expansions

Map # 1 Lot # 9 & 10

Date: 4/23/20

Site Plan Review - Information Checklist

A site plan review application shall contain the following information, where applicable, to be considered complete. However, this checklist is intended only as a guide; the Planning Board may require additional information as deemed necessary. All plans shall conform to the applicable requirements of the Zoning Ordinance, Building Ordinance, Subdivision and Site Plan Review Regulations, and other state, local, and federal requirements. (All data/information sources should be referenced.)

X – Information Provided

O – Information Not Provided

W – Waiver Requested

I. Preliminary Consultation

 A. Base map drawn to scale

- 1. General description of existing conditions on the site.
- 2. Any facilities and utilities.
- 3. Dimensions and sizes of the proposed structure(s).
- 4. Topographic map showing the proposed layout of the site: parking, driveways(s), sidewalks.

II. Formal Application

 X **A. Completed "Application for Site Plan Review".**

 X **B. Names and addresses of all abutters.**

 X **C. Administrative fees (payable to the Town of Stratham).**

 N/A **D. High intensity soils information with sewage disposal and lot size calculations.**

 N/A **E. Data on test pits and percolation tests:**

↳ ON SEWER

 Location of test pits.

 Percolation test date and rate.

 Certification of test witness.

 Outline of the area reserved for leach fields.

 X **F. Six complete sets of prints drawn to scale with the following:**

 X Sheet size of 22" x 34".

 X Appropriate scale.

 X Space for Planning Board signature and date.

 X **G. Additional submission requirements:**

 X Nine 11 X 17 copies of proposed plan.

 X One copy of the plan in a digital format referenced to NH State Plane feet, NAD 83, in a format compatible with the town's ESRI ArcView GIS system.

 Three copies of any engineering or impact reports.

Town of Stratham Site Plan Review Checklist

- X Three sets of printed labels for abutter mailing.
- X 1. Existing data required.
- X a. Site location, current names and addresses of developer, owners of record, abutting landowners.
- X b. Names and addresses of person/firm preparing the map with other information:
- X Stamp by registered architect and/or professional engineer.
- X Map scale.
- X North arrow.
- X Date.
- X Tax map and parcel number.
- X Size of parcel.
- X c. Topographic contours.
- X d. Boundary lines.
- X e. Natural features.
- X f. Drainage systems and roads.
- X g. Structures within 200 feet
- X h. Easements and rights-of-way.
- X i. Location of utilities.
- X j. Vicinity sketch showing surrounding streets, zoning districts, site boundaries, and 100 year flood plain.
- X k. Soils map.
- X 2. Proposed Plans.
- X a. Grades, topographic contours.
- X b. Plan view of proposed structures and/or alterations; rendering of exterior design.
- X c. Data for streets, driveways, etc.: location, size, direction of travel, curbing, paving and curve radii.
- X d. Parking and loading facilities.
- X e. Location of utilities.
- Waiver Requested X f. Storm drainage plan with supporting calculations.
- X g. Landscaping and screening.
- X h. Sign location, size, and design.
- X i. Outdoor lighting.
- X j. Surveyed property lines with monument locations.
- X k. Construction details (e.g. walks, curbing, drainage structures, etc.).
- X l. Snow storage area.
- X m. Solid waste disposal receptacles and screening.
- X n. Fire protection (e.g. fire lanes, alarms, etc.).
- X o. Erosion and sedimentation control methods.

**Town of Stratham
Site Plan Review Checklist**

- _____ p. Site Review Agreement.
- _____ q. Other exhibits, if applicable:
- _____ Performance Bond.
 - _____ Maintenance Bond.
 - _____ Information on pollutants discharge and/or noise generation.
 - _____ Traffic impact analysis.
 - _____ Natural/Environmental Recourses Inventory
 - _____ Environmental/Forestry Impact Report
- _____ State and local permits (e.g. state septic system [RSA 149-E:3], site specific [RSA 149:8-a], driveway access [RSA 236:13], dredge and fill [RSA 483-A], etc.).

Note: For more complete information, it is strongly recommended that the applicant read Stratham's "Subdivision and Site Plan Review Regulations" (2004), as well as the Town's Zoning Ordinance (2004) and Building Ordinance. (2002).

I certify that the information provided is complete and correct to the best of my knowledge.

Signed: _____

Date: _____

4/23/20



TOWN OF STRATHAM
10 Bunker Hill Avenue · Stratham, NH 03885
Phone: 603-772-7391 Fax (All Offices) 603-775-0517

SITE PLAN REVIEW / SUBDIVISION WAIVER REQUEST FORM

Name of Subdivision/Site Plan:

Proposed Parking Lot Expansion

Street Address:

2 & 8 Marin Way

I Jones & Beach Engineers, Inc. hereby request that the Planning Board waive the requirements of item(s) Drainage Design Submission of the Subdivision/Site Plan Checklist in reference to a plan presented by Jones & Beach Engineers, Inc. (name of surveyor and engineer) dated 4/29/20 for the property tax map(s) 1 and lot(s) 9 & 10 in the Town of Stratham, NH

As the aforementioned applicant, I, herein, acknowledge that this waiver is requested in accordance with the provisions set forth in RSA 674:36, II (n) (For Subdivisions) OR RSA 674:44, III (e) (For Site-Plans). Without the Planning Board granting said waiver, strict conformity would cause an unnecessary hardship to the applicant and waiver would not be contrary to the spirit and intent of the regulations, **OR** the specific circumstances relative to the subdivision/site plan or conditions of the land in the subdivision/site plan indicate that the waiver will properly carry out the spirit and intent of the regulations.

Strict conformity would cause an **unnecessary hardship** to the applicant and waiver would not be contrary to the spirit and intent of the regulations:

OR:

Specific circumstances relative to the subdivision or conditions of the land in the subdivision indicate that the waiver will properly **carry out the spirit and intent of the regulations:**

All of the stormwater from the proposed parking expansion is near the existing buildings and will end up in the detention ponds that are existing for these two industrial buildings. Therefore, no untreated stormwater will exit the property without first going through the detention ponds. The ponds are well stabilized and maintained and disturbing now would take years to get back to their current vegetated amounts. The abutting property is owned by the applicant as well, the C&R Partnership property.

Signed:

Applicant or Authorized Agent

Planning Board Action:

Waiver Granted _____

Waiver Not Granted _____

WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that SPRING LINE HOLDING CO., L.L.C., a New Hampshire Limited Liability Company, with a principal place of business at 142 Portsmouth Avenue, Stratham, County of Rockingham and State of New Hampshire, **for consideration paid, grant(s)** to SIP-LOT3, L.L.C., a New Hampshire Limited Liability Company with a principal place of business at 459 Lafayette Road, Hampton, County of Rockingham and State of New Hampshire, **with Warranty Covenants**, all of its right, title and interest in and to the following described premises:

A certain parcel of land located in the Stratham Industrial Park on the southeast side of Marin Way, Town of Stratham, County of Rockingham, State of New Hampshire, depicted as Tax Map 2 Lot 32-3 on a plan entitled "Lot Consolidation and Resubdivision Plan at Stratham Industrial Park" prepared by Easterly Surveying, dated 12/1/97, revised 12/17/97, and recorded in the Rockingham County Registry of Deeds as Plan #D-25995 and being more particularly described as follows:

Beginning at a point on the North Hampton and Stratham town line S 53° 02' 54" W a distance of 206.47 feet from a concrete town bound at the south corner of Tax Map 2 Lot 32-4 at land now or formerly of C & R Partnership, said point being the south corner of the herein described parcel; thence running S 53° 02' 54" W along said town line by land of said C & R Partnership a distance of 332.50 feet to a point; thence running S 52° 53' 46" W along said town line by land of C & R Partnership a distance of 68.68 feet to a concrete town bound at land of Kendall W. and Eugenie Chevalier; thence running S 53° 02' 51" W along said town line by land of said Kendall W. and Eugenie Chevalier a distance of 326.95 feet to a point at the east corner of Tax Map 2 Lot 35, thence running S 36° 57' 09" E along said Tax Map 2 Lot 35 a distance of 350.92 feet to a point; thence running S 50° 33' 24" E along said Tax Map 2 Lot 35 a distance of 272.91 feet to a point on the southeast sideline of said Marin Way; thence running northeasterly along the sideline of said Marin Way on a curve to the right having a radius of 455.00 feet and an arc length of 121.25 feet to a point; thence running N 42° 43' 29" E along the southeasterly sideline of said Marin Way a distance of 120.00 feet to a point; thence running northeasterly along the sideline of said Marin Way on a curve to the right having a radius of 810.00 feet and an arc length of 170.07 feet to a point; thence running northeasterly along the sideline of said Marin Way on a curve to the left having a radius of 593.00 feet and an arc length of 154.93 feet to a point at the southeast corner of Tax Map 2 Lot 32-4; thence running S 55° 31' 40" E along said Tax Map 2 Lot 32-4 a distance of 741.71 feet to the point of beginning. Said parcel containing 9.77 acres.

0057774

Aug 27 2 44 PM '98

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

Said parcel has the benefit of an adjacent 50 foot wide by 272.91 foot long access and utility easement which is located along the north property line of Tax Map 2 Lot 32-3 as shown on said plan.

Said parcel is subject to a 90 foot wide by 110 foot long access easement in favor of Tax Map 2 Lot 35 located as shown on said plan in the south corner of said parcel.

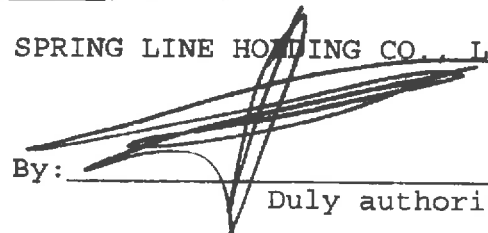
Said parcel is subject to an adjacent 30 foot by 30 foot long drainage easement which in favor of Tax Map 2 Lot 35 located as shown on said plan along the southwest line of said parcel.

Said parcel is subject to a 20 foot wide sewer easement which is located in the southwest corner of Tax Map 2 Lot 32-3 as shown on said plan.

Being a portion of the premises conveyed to the Grantor herein, for further title reference see Deed of Leon L. Sicard to Spring Line Holding Co., Inc., dated June 27, 1994 and recorded in the Rockingham County Registry of Deeds at Book 3059, Page 2311.

Signed this 30 day of March, 1998.

SPRING LINE HOLDING CO., LLC

By:  Duly authorized

STATE OF NEW HAMPSHIRE
ROCKINGHAM, SS

Dated: March 30, 1998

Personally appeared the above named Mark Stevens in his/~~her~~ capacity as Managing Member, of SPRING LINE HOLDING CO., LLC being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the corporation.


Notary Public/Justice of the Peace



WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS, that MARIN WAY INVESTMENT CORP., a New Hampshire Corporation with a principal place of business at 24 Coach Road, Hampton Falls, County of Rockingham and State of New Hampshire, **for consideration paid, grant(s)** to SIP-LOT2, L.L.C., a New Hampshire Limited Liability Company with a principal place of business at 459 Lafayette Road, Hampton, County of Rockingham and State of New Hampshire, **with Warranty Covenants**, all of its right, title and interest in and to the following described premises:

A certain parcel of land located in the Stratham Industrial Park on the east side of Marin Way and the north side of Exeter Road (Route 111), Town of Stratham, County of Rockingham, State of New Hampshire depicted as Tax Map 2, Lot 35 on a plan entitled "Lot Consolidation and Resubdivision Plan at Stratham Industrial Park" prepared by Easterly Surveying dated 12/1/97, revised 12/17/97, to be recorded in the Rockingham County Registry of Deeds and being more particularly described as follows:

Beginning at a stone town bound on the north sideline of said Exeter Road at the southwest corner of land now or formerly of Kendall W. and Eugene Chevalier, said point being the southeast corner of the herein described parcel; thence running N 64° 41' 40" W along the north sideline of said Exeter Road a distance of 133.68 feet to a point; thence running northwest along the sideline of said Exeter Road on a curve to the right having a radius of 30.00 feet and an arc length of 47.12 feet to a point on the east side of said Marin Way; thence running northerly along the sideline of said Marin Way on a curve to the left having a radius of 505.00 feet and an arc length of 220.35 feet to a point; thence running northerly along the sideline of said Marin Way on a curve to the right having a radius of 655.53 feet and an arc length of 240.46 feet to a point; thence running N 21° 19' 40" E along the easterly sideline of said Marin Way a distance of 219.33 feet to a point; thence running northerly along the sideline of said Marin Way on a curve to the right having a radius of 455.00 feet and an arc length of 48.67 feet to a point at the southwest corner of Tax Map 2 Lot 32-3 as shown on said plan; thence running S 50° 33' 24" E along said Tax Map 2 Lot 32-3 a distance of 272.91 feet to a point; thence running S 36° 57' 09" E along said Tax Map 2 Lot 32-3 a distance of 350.92 feet to a point at land of said Chevalier and the town line between North Hampton and Stratham; thence running S 53° 02' 51" W along land of said Chevalier and said town line a distance of 185.25 feet to a concrete town bound; thence running S 53° 10' 20" W along land of said Chevalier and said town line a distance of 394.13 feet to the point of beginning, containing 6.09 acres of land.

Said parcel has the benefit of an adjacent 30 foot by 30 foot drainage easement which is located along the south property line of Tax Map 2 Lot 32-3 as shown on said Plan.

JUN 29 3 20 PM '98

0005252

ROCKINGHAM COUNTY
REGISTRY OF DEEDS

B3265 P0577

Said parcel has the benefit of a 20 foot wide sewer easement which is located in the southwest corner of Tax Map 2 Lot 32-3 as shown on said plan.

Said parcel is subject to a 50 foot wide by 272.91 foot long access and utility easement in favor of Tax Map 2 Lot 32-3 located as shown on said plan in the northwest corner of said parcel.

Being a portion of the premises acquired by the Grantor herein for further title reference see Deed of Seaton Realty Trust to Marin Way Investment Corp. dated April 17, 1994 to be recorded in the Rockingham County Registry of Deeds herewith.

This is not homestead property.

Signed this 28th day of January, 1998.

MARIN WAY INVESTMENT CORP.

By: [Signature]
Duly authorized

STATE OF NEW HAMPSHIRE
ROCKINGHAM, SS

Dated: January 28, 1998

Personally appeared the above named Mark Steven
in his/her capacity as President, of MARIN WAY
INVESTMENT CORP., being authorized so to do, executed the
foregoing instrument for the purposes therein contained, by
signing the name of the corporation.

[Signature]
Notary Public Justice of the Peace

STATE OF NEW HAMPSHIRE			
DEPARTMENT OF REVENUE ADMINISTRATION		REAL ESTATE TRANSFER TAX	
1 THOUSAND 1 HUNDRED AND 60 DOLLARS			
MO.	DAY	YR.	AMOUNT
01	29	98	289539 \$1160.00
VOID IF ALTERED			

**ABUTTERS LIST (DIRECT)
AS OF
APRIL 23, 2020
2 & 8 MARIN WAY
STRATHAM, NH 03885
JBE PROJECT NO. 19226**

OWNER OF RECORD/ APPLICATION:

TAX MAP 1/LOT 9
SIP-LOT 3, LLC
142 PORTSMOUTH AVE
PO BOX 432
STRATHAM, NH 03885
BK 3320/PG 2035 (03/30/98)

TAX MAP 1/LOT 10
SIP-LOT 2, LLC
PO BOX 432
STRATHAM, NH 03885
BK 3265/PG 576 (01/28/98)

STRATHAM ABUTTERS:

1/2 – STRATHAM ABUTTER
88/5 – EXETER ABUTTER
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

1/3
ALBANY ROAD – 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110
5690/1565 (02/05/16)

1/8
MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885
3265/568 (01/29/98)

1/11

WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12 – STRATHAM ABUTTERS

88/7 – EXETER ABUTTERS
POWER REALTY TRUST
DIANA CORMIER – TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

NORTH HAMPTON ABUTTERS:

10/3 & 5

KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4

TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8 – NORTH HAMPTON ABUTTER

8/1 – HAMPTON ABUTTER
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:

7/3

HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

NHDOT
7 HAZEN DR
CONCORD, NH 03302

ENGINEERS:

JONES & BEACH ENGINEERS, INC.
ATTN. JOSEPH CORONATI
PO BOX 219
STRATHAM, NH 03885

SIP-LOT 3, LLC
142 PORTSMOUTH AVE
PO BOX 432
STRATHAM, NH 03885

SIP-LOT 3, LLC
142 PORTSMOUTH AVE
PO BOX 432
STRATHAM, NH 03885

SIP-LOT 3, LLC
142 PORTSMOUTH AVE
PO BOX 432
STRATHAM, NH 03885

SIP-LOT 2, LLC
PO BOX 432
STRATHAM, NH 03885

SIP-LOT 2, LLC
PO BOX 432
STRATHAM, NH 03885

SIP-LOT 2, LLC
PO BOX 432
STRATHAM, NH 03885

100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101

100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101

100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101

ALBANY ROAD – 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110

ALBANY ROAD – 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110

ALBANY ROAD – 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110

MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885

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WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
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WEST PALM BEACH, FL 33409

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POWER REALTY TRUST
DIANA CORMIER – TRUSTEE
8 AULSON RD
SALEM, NH 03079

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DIANA CORMIER – TRUSTEE
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SALEM, NH 03079

TOWN OF STRATHAM
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STRATHAM, NH 03885

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STRATHAM, NH 03885

TOWN OF STRATHAM
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STRATHAM, NH 03885

KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

KENDALL W. & EUGENIE CHEVALIER
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NORTH HAMPTON, NH 03862

KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862

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233 ATLANTIC AVE
NORTH HAMPTON, NH 03862

TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862

HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842

HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842

HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842

NHDOT
7 HAZEN DR
CONCORD, NH 03302

NHDOT
7 HAZEN DR
CONCORD, NH 03302

NHDOT
7 HAZEN DR
CONCORD, NH 03302

JONES & BEACH ENGINEERS, INC.
ATTN. JOSEPH CORONATI
PO BOX 219
STRATHAM, NH 03885

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STRATHAM, NH 03885

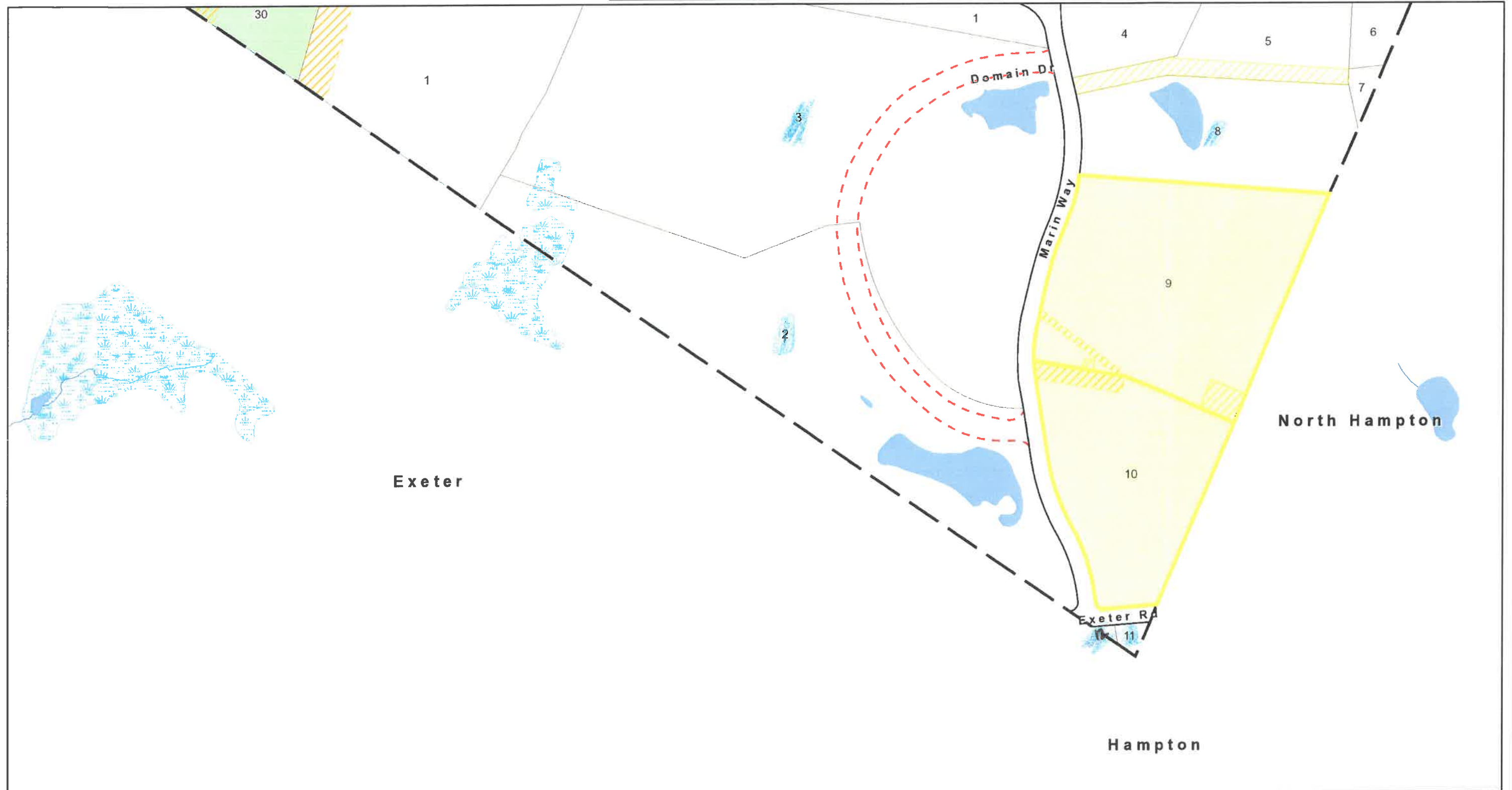


Stratham, NH

1 inch = 275 Feet



April 20, 2020



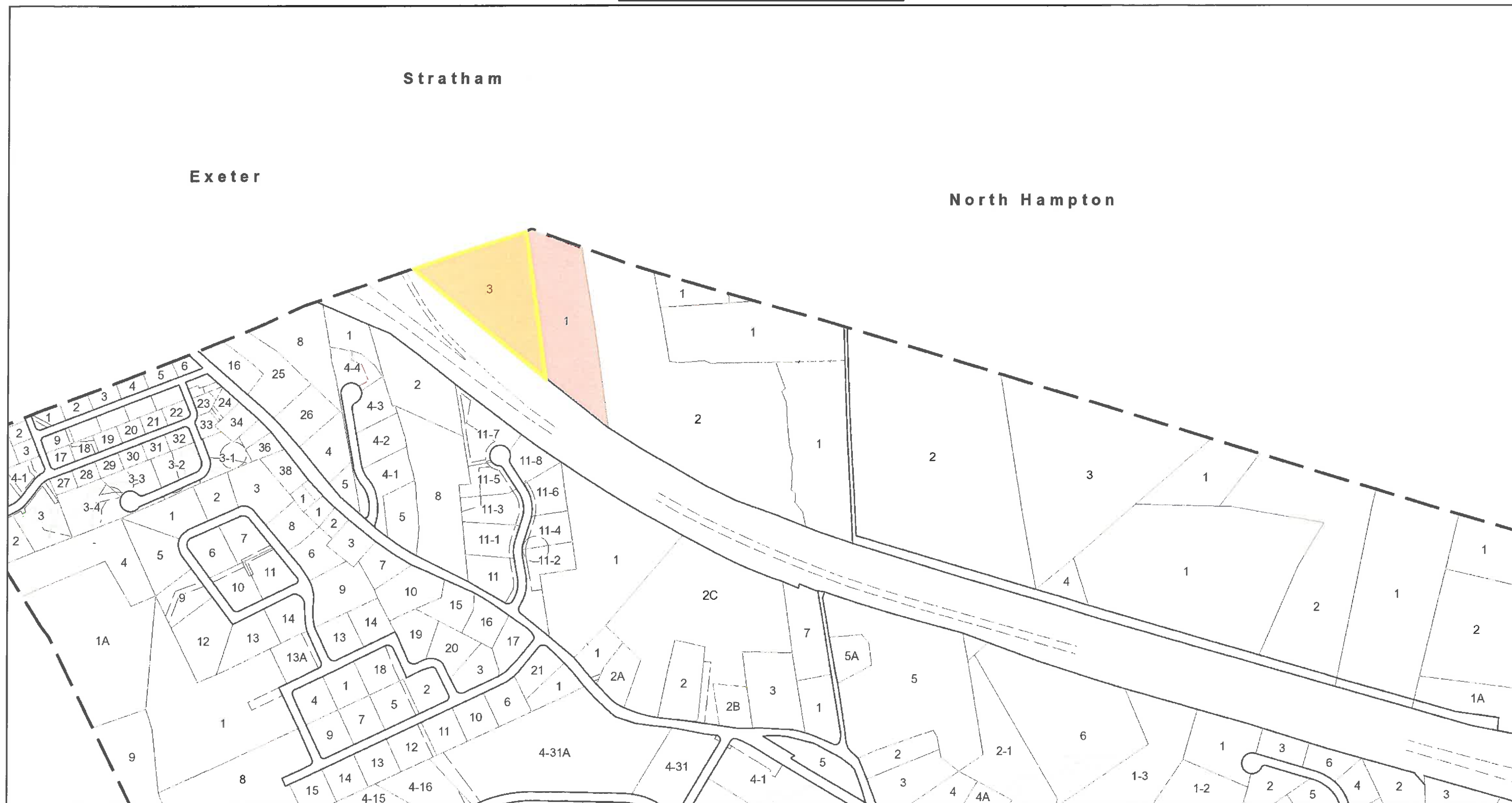


Hampton, NH

1 inch = 551 Feet



April 20, 2020



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

SIP-LOT 3, LLC
142 PORTSMOUTH AVE
PO BOX 432
STRATHAM, NH 03885

7019 2280 0001 7420 1567

SIP-LOT 2, LLC
PO BOX 432
STRATHAM, NH 03885

7019 2280 0001 7420 1550

100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101

7019 2280 0001 7420 1543

ALBANY ROAD – 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110

7019 2280 0001 7420 1536

MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885

7019 2280 0001 7420 1529

WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409

7019 2280 0001 7420 1512

POWER REALTY TRUST
DIANA CORMIER – TRUSTEE
8 AULSON RD
SALEM, NH 03079

7019 2280 0001 7420 1505

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

7019 2280 0001 7420 1499

TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862

7019 2280 0001 7420 1482

FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862

7019 2280 0001 7420 1475

HAMPTON CONSERVATION COMMISSION
100 WINNACUNNET RD
HAMPTON, NH 03842

7019 2280 0001 7420 1468

NHDOT
7 HAZEN DR
CONCORD, NH 03302

7019 2280 0001 7420 1451

JONES & BEACH ENGINEERS, INC.
ATTN. JOSEPH CORONATI
PO BOX 219
STRATHAM, NH 03885

7019 2280 0001 7420 1444

MEMORANDUM

Ref: 2023A

To: Rob Graham
SIP Lot 2, LLC & SIP Lot 3, LLC

From: Stephen G. Pernaw, P.E., PTOE

Subject: Proposed Parking Lot Expansion – 2 & 8 Marin Way
Stratham, New Hampshire

Date: May 15, 2020

As requested, Pernaw & Company, Inc. has conducted this “*Traffic Evaluation*” for the proposed parking lot expansion project located at #2 and #8 Marin Way in Stratham, New Hampshire. The purpose of this memorandum is to summarize the results of our trip generation analysis for the proposed change in tenancy as well as our research of available traffic count data in the area. To summarize:

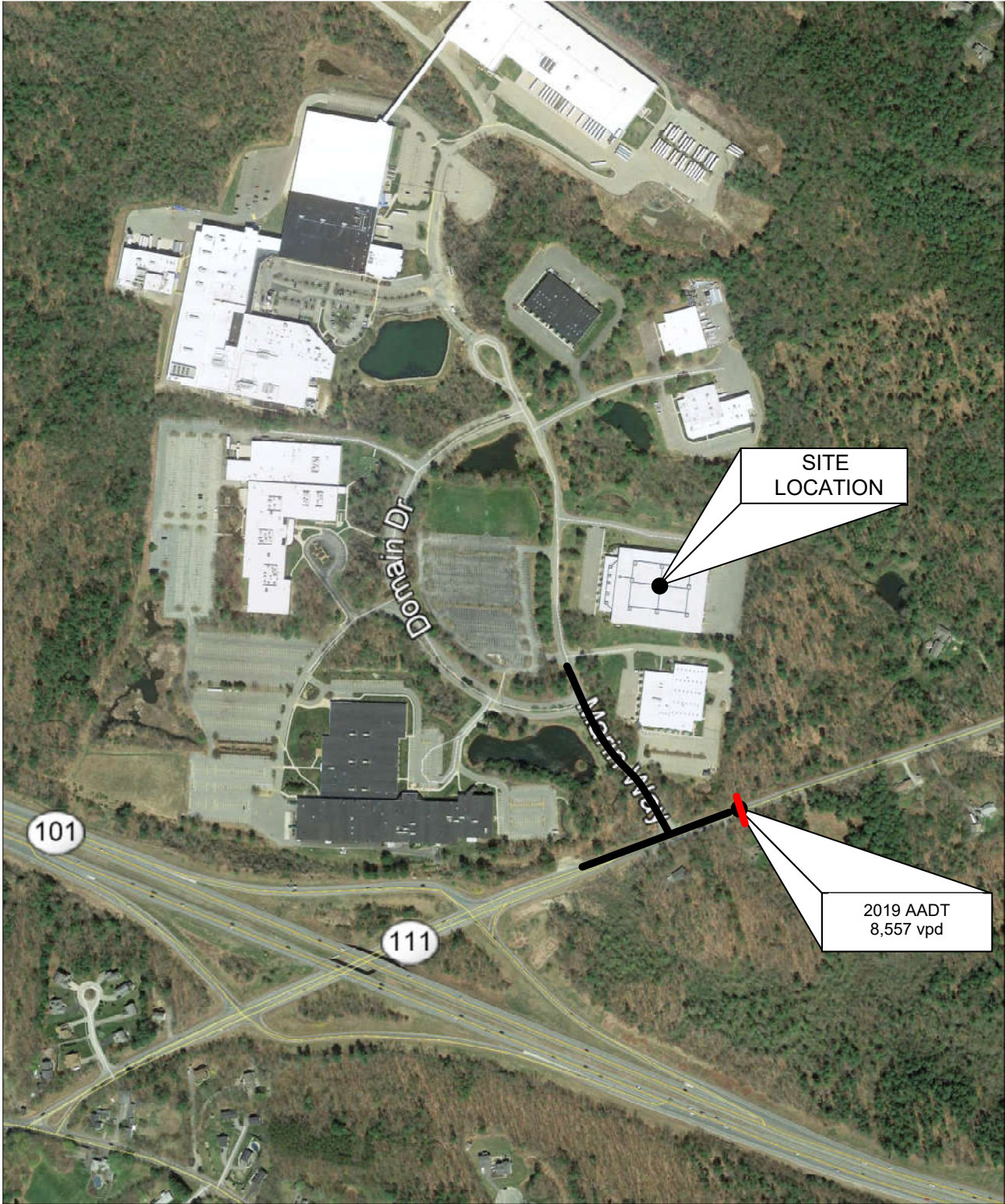
PROPOSED DEVELOPMENT

According to the plan entitled “*Site Plan – H. D. Smith Parking Expansion*,” Sheet C2 dated 4/29/20, prepared by Jones & Beach Engineers, Inc. (see Attachment 1), the proposed development involves parking lot revisions that will increase the parking supply from 72 spaces to 214 spaces (net +142). The additional non-site parking is required as a result of the proposed change in tenants. The vehicular access to the H. D. Smith building is proposed at two locations on Marin Way: 1) via the existing site driveway (that will be upgraded) and, 2) via the existing ElectroCraft driveway (adjacent to the south side of the H. D. Smith building).

The former tenant (H. D. Smith) provided specialty distribution services for pharmaceutical products. This facility operated with one standard work shift and employed approximately 65 persons.

The pending tenant will also use the warehouse for short-term storage and direct distribution of products and packages to end users. The new tenant however will operate with three work shifts. The use of multiple work shifts is a standard Transportation Demand Management (TDM) strategy that reduces/disperses traffic demand on an hourly basis.

Figure 1 shows the location of the subject site with respect to the area roadway system, as well as the location of the most recent Automatic Traffic Recorder (ATR) count conducted in the area by the NHDOT, as well as previous Pernaw & Co., Inc counts conducted at the NH111/Marin Way intersection in 2019.



 = AUTOMATIC TRAFFIC RECORDER LOCATION (NHDOT)



2023A

Figure 1

Site Location

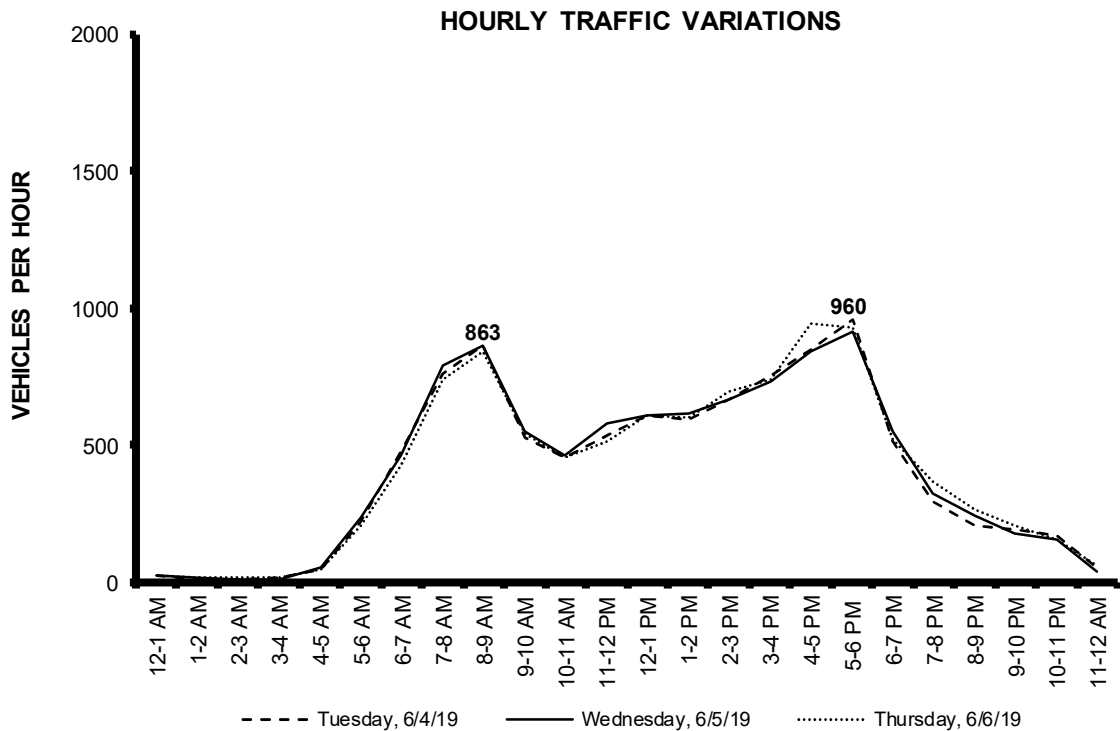
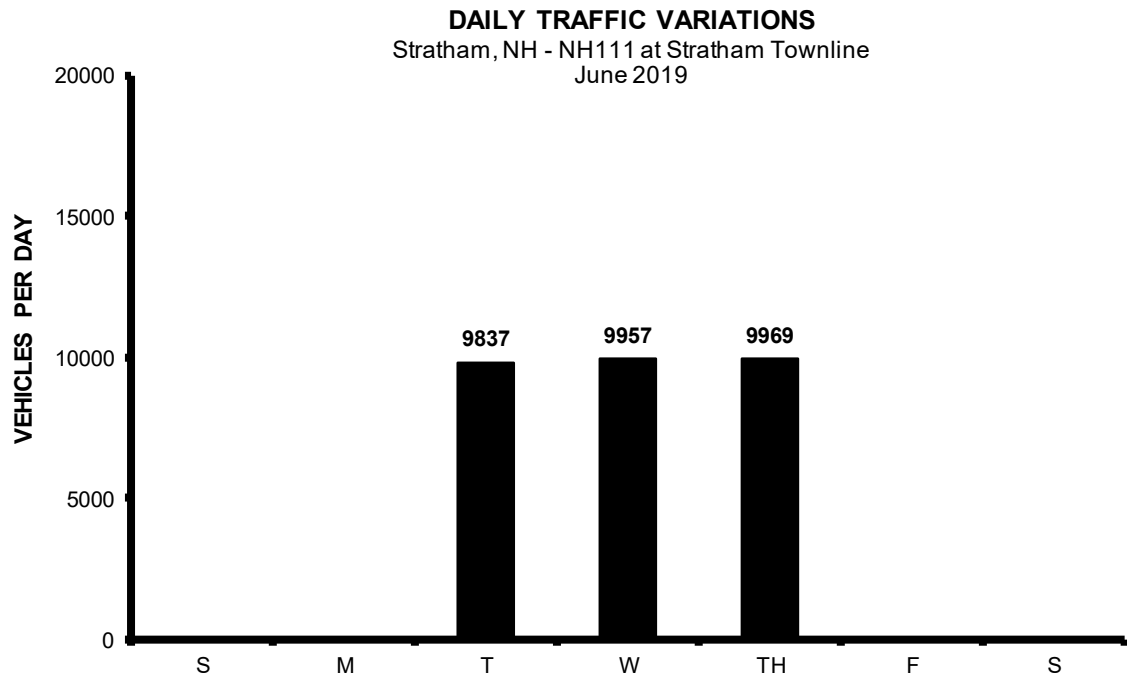
Traffic Evaluation, Proposed Parking Lot Expansion at 2 & 8 Marin Way, Stratham, New Hampshire

EXISTING TRAFFIC VOLUMES

Research at the NHDOT revealed that there is a short-term Automatic Traffic Recorder count station on NH111 at the Stratham-North Hampton line, just east of Marin Way. According to the NHDOT reports that section of NH111 carried an Annual Average Daily Traffic (AADT) volume of approximately 8,557 vehicles per day (vpd) in 2019, down from 10,612 vpd in 2018 (see Attachment 2).

This data demonstrates that weekday traffic volumes in the area typically reach peak levels from 8:00 to 9:00 AM and from 4:00 to 5:00 or 5:00 to 6:00 PM, thus corresponding to the typical commuter periods. The diagrams on Page 4 summarize the daily and hourly variations in traffic demand along the NH111 corridor. The detail sheet pertaining to this count is attached (see Attachment 3).

Pernaw & Company, Inc. conducted peak-period traffic counts at the NH111/Marin Way intersection in 2019 in conjunction with the traffic study for the Lindt Stratham Expansion project on Marin Way. This data is summarized graphically on Attachment 4 and shows that Marin Way accommodated 685 vehicles during the morning peak hour period from 8:00 to 9:00 AM with 91% of the vehicles heading inbound (into Marin Way). During the evening peak hour from 4:30 to 5:30 PM, Marin Way accommodated 668 vehicles with 89% heading in the outbound direction. The predominant directional patterns observed on Marin Way (heavy AM inbound / heavy PM outbound) is typical for most industrial parks.



TRIP GENERATION

To estimate the quantity of vehicle-trips that will be generated by the proposed shipping/receiving company in the former H. D. Smith distributorship, Pernaw & Company, Inc. considered the standard trip generation rates and equations published by the Institute of Transportation Engineers (ITE)¹. Land Use Code 155 – High-Cube Fulfillment Center Warehouse is the most applicable category, and the gross floor area of the building was used as the independent variable (see Attachment 5).

ITE Land Use Code 155 is not applicable for the proposed shipping/receiving company in that the ITE methodology is not capable of reflecting the effects of a 24-hour operation with three work shifts. Consequently, detailed scheduling information was obtained from the future tenant, and then compiled and summarized (see Attachment 6). Table 1 compares the trip generating characteristics of the former and proposed tenants of the subject building.

Table 1		Trip Generation Comparison		
		Former H. D. Smith Facility ¹	Proposed Distribution Facility ²	Net Change
AM Peak Hour				
(8:00 - 9:00 AM)	Entering	54 veh	47 veh	-7 trips
	Exiting	<u>5 veh</u>	<u>76 veh</u>	<u>+71 trips</u>
	Total	59 trips ³	123 trips	<u>+64 trips</u>
PM Peak Hour				
(5:00 - 6:00 PM)	Entering	15 veh	9 veh	-6 trips
	Exiting	<u>122 veh</u>	<u>2 veh</u>	<u>-120 trips</u>
	Total	137 trips ³	11 trips	<u>-126 trips</u>
PM Generator Peak Hour				
(7:00 - 8:00 PM)	Entering	NA	45 veh	NA
	Exiting	NA	<u>58 veh</u>	NA
	Total	NA	103 trips	NA
Weekday (24 Hours)				
	Entering	409 veh	317 veh	-92 trips
	Exiting	<u>409 veh</u>	<u>317 veh</u>	<u>-92 trips</u>
	Total	818 trips	634 trips	-184 trips

¹ ITE Land Use Code 155 - High-Cube Fulfillment Center Warehouse (100,000 sf)

² 2026 Projections from the future tenant (See Attachment 6)

³ Percentage in/out derived from Pernaw & Co., Inc 2019 traffic count on Marin Way

This summary shows that the future tenant will likely generate more traffic than the previous tenant during the AM peak hour. This impact is mitigated by the fact that: 1) there will be fewer inbound trips during the AM peak hour, and 2) the majority of site traffic will be outbound trips during the AM, whereas most vehicles are arriving at Marin Way during the AM peak hour. The future tenant will generate significantly fewer trips during the PM peak hour and on a 24-hour basis.

¹ Institute of Transportation Engineers, *Trip Generation*, Tenth edition (Washington, D.C., 2017).
2023A

TRIP DISTRIBUTION

The diagrams on Figure 2 show the net changes in traffic flow at the NH111/Marin Way intersection as well as at the adjacent interchange with NH101. The travel patterns indicated on Figure 2 are based the trip generation changes summarized in Table 1, and the trip distribution percentages found in our previous report entitled: *“Traffic Impact and Site Access Study-Proposed Lindt Stratham Expansion.”*

The anticipated increase in right-turn departures from Marin Way during the AM peak hour is not of concern as the previous traffic study indicated this movement currently operates well below capacity during the AM peak hour. The anticipated decrease in all turning movements to/from Marin Way during the PM peak hour can only be described as “beneficial” as police officer control is currently utilized at this intersection during the PM peak hour.

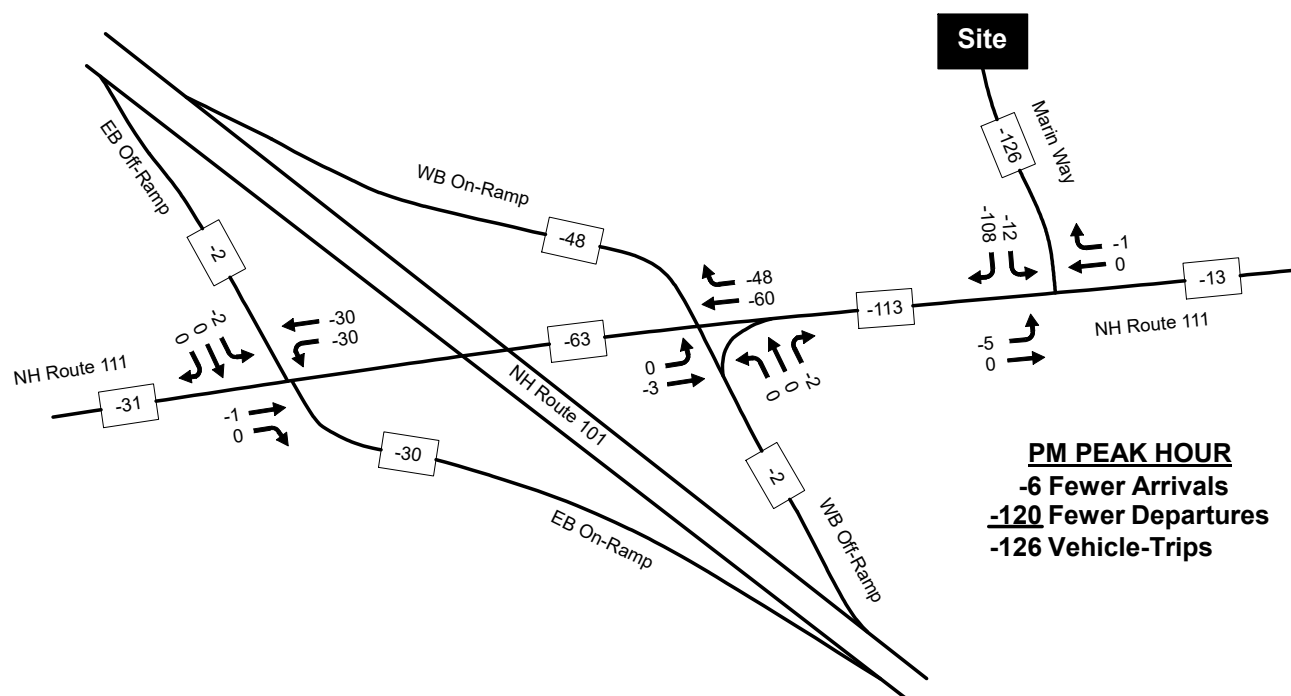
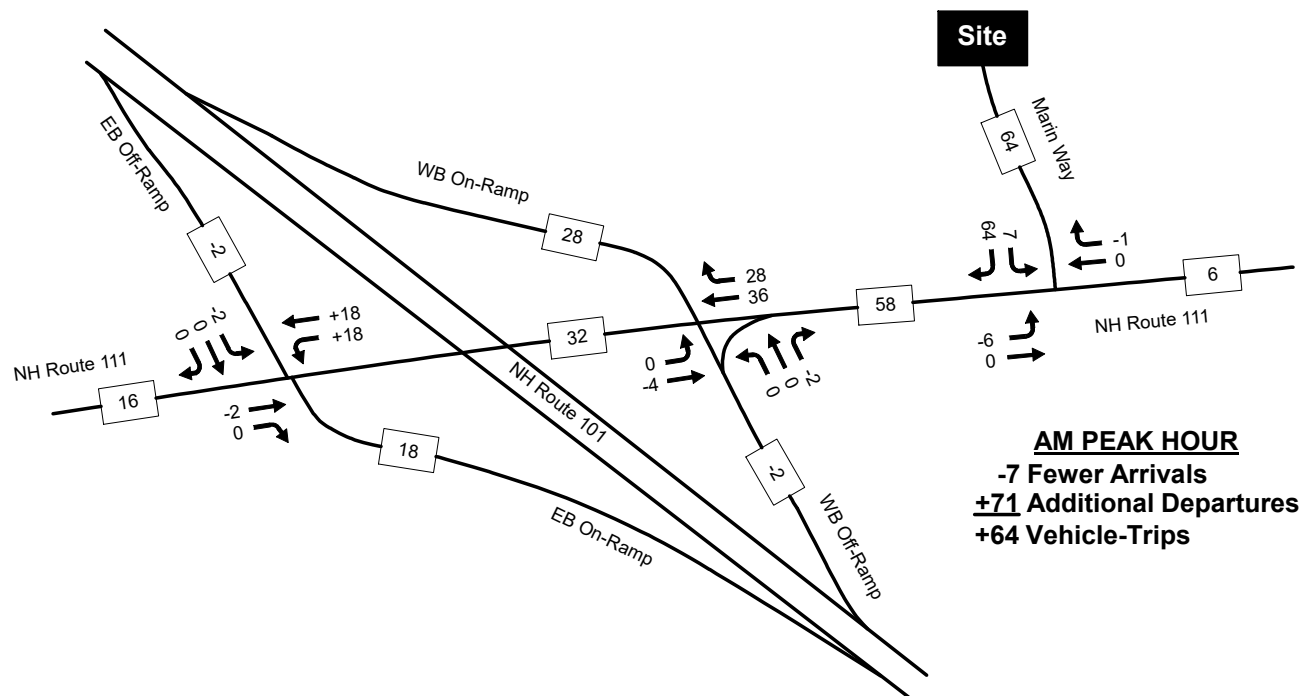


Figure 2

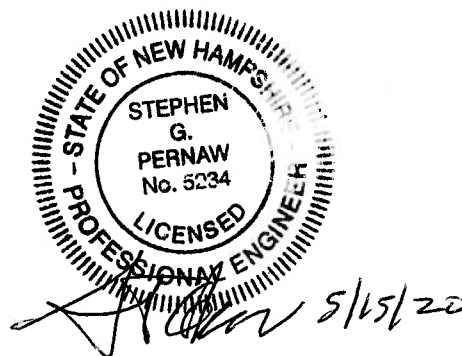
Traffic Volume Changes

Traffic Evaluation, Proposed Parking Lot Expansion at 2 & 8 Marin Way, Stratham, New Hampshire

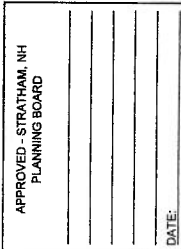
FINDINGS AND CONCLUSIONS

1. According to NHDOT reports, NH111 (east of Marin Way) carried an Annual Average Daily Traffic (AADT) volume of approximately 8,557 vehicles per day (vpd) in 2019, down from 10,612 vpd in 2018.
2. The future shipping/receiving tenant will operate with three work shifts on a typical weekday. The use of multiple work shifts is an effective Transportation Demand Management (TDM) measure that has the potential to reduce traffic impacts considerably. The former H. D. Smith tenant operated with one standard work shift that coincided with the busiest traffic periods on Marin Way.
3. The trip generation analysis indicates that the future shipping/receiving tenant will generate approximately +64 additional vehicle-trips will during the AM peak hour, when compared with the trip generation estimates for the former H. D. Smith business. This apparent impact is mitigated by the fact that: 1) there will be fewer inbound trips during the AM peak hour, and 2) the majority of site traffic from the future tenant will be outbound trips during the AM, whereas most vehicles are arriving at Marin Way during the AM peak hour.
4. The trip generation analysis indicates that the future shipping/receiving tenant will generate considerably fewer vehicle-trips during the PM peak hour than the former tenant.
5. The trip generation analysis indicates that the future shipping/receiving tenant will generate considerably fewer vehicle-trips on a 24-hour daily basis than the former tenant.
6. The anticipated changes in traffic generation due to the proposed change in tenancy at the H. D. Smith building on Marin Way does not alter the findings and conclusions found in the previously prepared traffic impact study for Lindt Stratham: 1) police officer control is essential during the PM peak hour to reduce delays and prevent an over-capacity situation, 2) existing traffic volumes indicate that NH111 should be widened to provide an exclusive left-turn lane for eastbound vehicles turning left on to Marin Way, and 3) existing traffic volumes indicate that traffic signal control is currently warranted at this intersection.
7. The project proponent is willing to provide additional “right-of-way” along both Marin Way and NH111 if needed as part of any future NHDOT improvement project at this intersection.

Attachments



ATTACHMENTS



Transportation Data Management System

List View

All DIRs

Record			1			of 1	Goto Record	<input type="text" value="go"/>
Location ID	82153009			MPO ID				
Type	SPOT			HPMS ID				
On NHS	No			On HPMS	No			
LRS ID	S0000111__			LRS Loc Pt.				
SF Group	04			Route Type				
AF Group	04			Route	NH 111			
GF Group	E			Active	Yes			
Class Dist Grp	Default			Category	3			
Seas Clss Grp	Default							
WIM Group	Default							
QC Group	Default							
Funct'l Class	Major Collector			Milepost				
Located On	Atlantic Ave							
Loc On Alias	NH 111 (EXETER RD) AT STRATHAM TL (EB-WB) (81153114-81153115)							
More Detail								
STATION DATA								

Directions:

AADT

Year	AADT	DHV-30	K %	D %	PA	BC	Src
2019	8,557	960	11	72	7,839 (92%)	718 (8%)	
2018	10,612 ³				9,784 (92%)	828 (8%)	Grown from 2017
2017	10,404 ³				9,656 (93%)	748 (7%)	Grown from 2016
2016	10,200 ³				9,303 (91%)	897 (9%)	Grown from 2015
2015	10,000						

1-5 of 15

Travel Demand Model

Model Year	Model AADT	AM PHV	AM PPV	MD PHV	MD PPV	PM PHV	PM PPV	NT PHV	NT PPV
------------	------------	--------	--------	--------	--------	--------	--------	--------	--------

VOLUME COUNT

	Date	Int	Total
	Thu 6/6/2019	60	9,969
	Wed 6/5/2019	60	9,957
	Tue 6/4/2019	60	9,837
	Fri 7/17/2015	60	12,401
	Thu 7/16/2015	60	12,429
	Wed 7/15/2015	60	11,136
	Tue 7/14/2015	60	11,158
	Mon 7/13/2015	60	11,219
	Mon 8/6/2012	60	11,346
	Sun 8/5/2012	60	8,736

VOLUME TREND

Year	Annual Growth
2019	-19%
2018	2%
2017	2%
2016	2%
2015	0%
2012	0%
2009	2%
2006	-2%
2003	0%

Transportation Data Management System

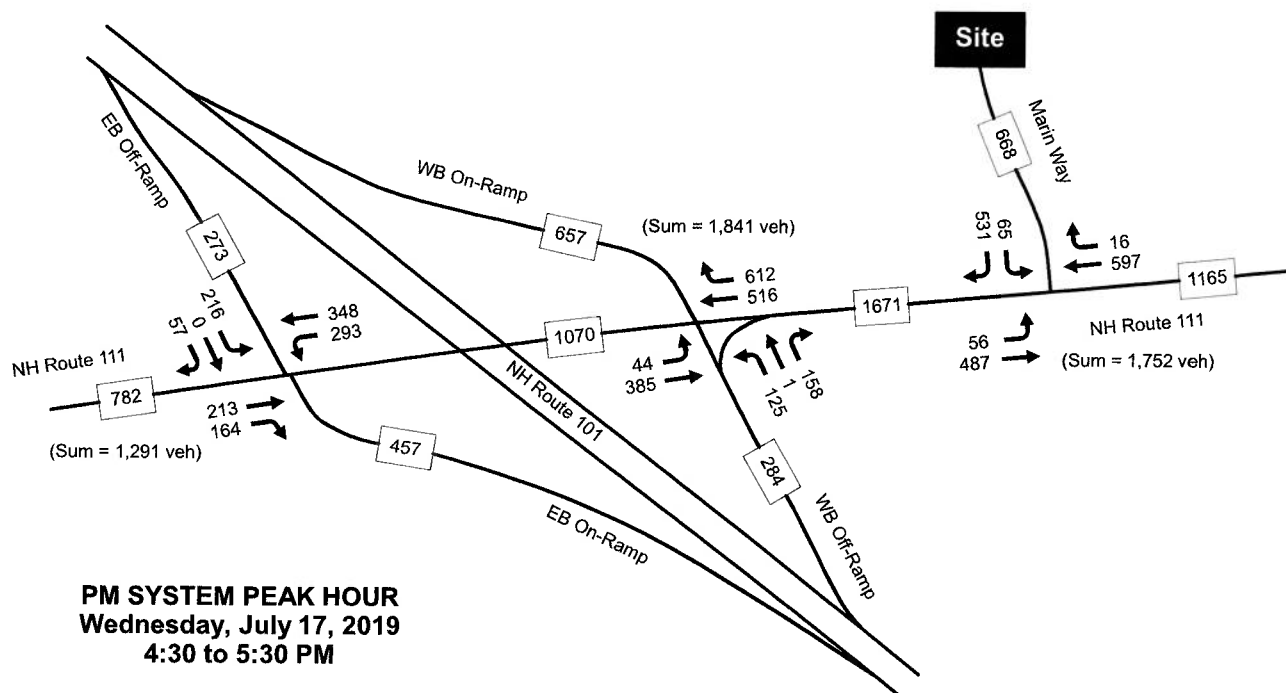
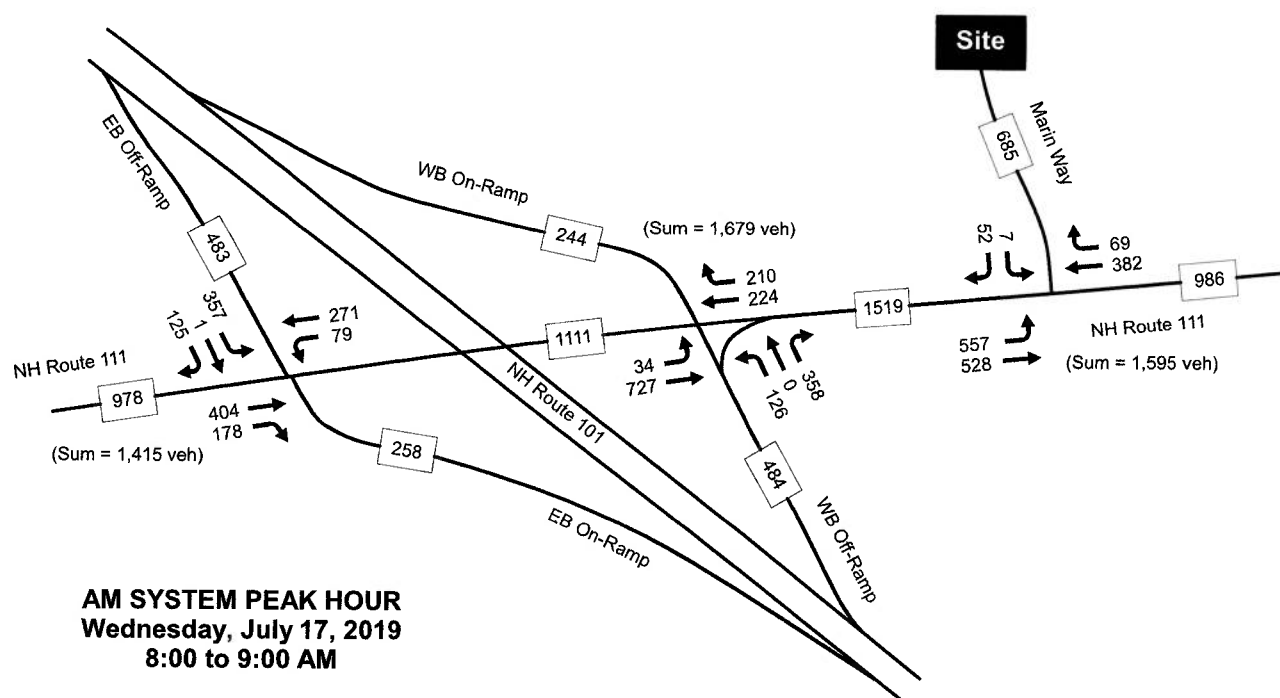


Excel Version

Weekly Volume Report			
Location ID:	82153009	Type:	SPOT
Located On:	Atlantic Ave	:	
Direction:	2-WAY		
Community:	STRATHAM	Period:	Mon 6/3/2019 - Sun 6/9/2019
AADT:	8557		

Start Time	Mon	Tue	Wed	Thu	Fri	Sat	Sun	Avg	Graph
12:00 AM		29	27	25				27	0.3%
1:00 AM		14	15	18				16	0.2%
2:00 AM		14	13	15				14	0.1%
3:00 AM		15	14	17				15	0.2%
4:00 AM		49	52	49				50	0.5%
5:00 AM		223	237	211				224	2.3%
6:00 AM		475	461	425				454	4.6%
7:00 AM		765	789	743				766	7.7%
8:00 AM		863	861	845				856	8.6%
9:00 AM		530	548	540				539	5.4%
10:00 AM		454	465	459				459	4.6%
11:00 AM		537	578	517				544	5.5%
12:00 PM		612	608	607				609	6.1%
1:00 PM		591	616	603				603	6.1%
2:00 PM		670	670	693				678	6.8%
3:00 PM		756	734	740				743	7.5%
4:00 PM		843	844	942				876	8.8%
5:00 PM		960	917	927				935	9.4%
6:00 PM		511	554	525				530	5.3%
7:00 PM		299	324	370				331	3.3%
8:00 PM		207	246	264				239	2.4%
9:00 PM		197	182	209				196	2.0%
10:00 PM		170	160	160				163	1.6%
11:00 PM		53	42	65				53	0.5%
Total	0	9,837	9,957	9,969	0	0	0		
24hr Total		9837	9957	9969				9,921	
AM Pk Hr		8:00	8:00	8:00					
AM Peak		863	861	845				856	
PM Pk Hr		5:00	5:00	4:00					
PM Peak		960	917	942				940	
% Pk Hr		9.76%	9.21%	9.45%				9.47%	

Pernaw & Company, Inc



1897A



Figure 2

2019 Existing Traffic Volumes - System Peak Hour (Balanced)

Traffic Impact and Site Access Study, Proposed Lindt Stratham Expansion, Stratham, New Hampshire

Trip Generation Summary

Alternative: Former Use
Phase: H. D. Smith
Project: 2023A

Open Date: 5/13/2020
Analysis Date: 5/13/2020

ITE	Land Use	Weekday Average Daily Trips				Weekday AM Peak Hour of Adjacent Street Traffic				Weekday PM Peak Hour of Adjacent Street Traffic			
		*	Enter	Exit	Total	*	Enter	Exit	Total	*	Enter	Exit	Total
155	WAREHOUSE-HCFC 1		409	409	818				59				137
	100 1000 Sq. Ft. GFA												
<hr/>													
	Unadjusted Volume		409	409	818		0	0	0		0	0	0
	Internal Capture Trips		0	0	0		0	0	0		0	0	0
	Pass-By Trips		0	0	0		0	0	0		0	0	0
	Volume Added to Adjacent Streets		409	409	818		0	0	0		0	0	0

Total Weekday Average Daily Trips Internal Capture = 0 Percent
Total Weekday AM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent
Total Weekday PM Peak Hour of Adjacent Street Traffic Internal Capture = 0 Percent

* - Custom rate used for selected time period.

2026 Trip Generation Summary - Proposed Distribution Facility / Marin Way, Stratham, NH

	Passenger Cars		Comm Veh		Total Vehicle-Trips		
	IN	OUT	IN	OUT	IN	OUT	TOTAL
12:00 AM - 1:00 AM	0	0	0	0	0	0	0
1:00 AM - 2:00 AM	0	0	1	0	1	0	1
2:00 AM - 3:00 AM	0	12	1	0	1	12	13
3:00 AM - 4:00 AM	16	18	1	0	17	18	35
4:00 AM - 5:00 AM	66	0	1	0	67	0	67
5:00 AM - 6:00 AM	2	0	1	0	3	0	3
6:00 AM - 7:00 AM	11	0	1	0	12	0	12
7:00 AM - 8:00 AM	29	24	1	0	30	24	54
8:00 AM - 9:00 AM	47	40	0	36	47	76	123
9:00 AM - 10:00 AM	11	16	0	54	11	70	81
10:00 AM - 11:00 AM	2	0	0	0	2	0	2
11:00 AM - 12:00 PM	2	0	0	0	2	0	2
12:00 PM - 1:00 PM	2	0	0	0	2	0	2
1:00 PM - 2:00 PM	2	0	0	0	2	0	2
2:00 PM - 3:00 PM	0	2	0	0	0	2	2
3:00 PM - 4:00 PM	0	2	0	0	0	2	2
4:00 PM - 5:00 PM	0	2	0	0	0	2	2
5:00 PM - 6:00 PM	0	2	0	0	0	2	2
6:00 PM - 7:00 PM	0	20	9	0	9	2	11
7:00 PM - 8:00 PM	0	56	27	0	27	20	47
8:00 PM - 9:00 PM	0	20	45	2	45	58	103
9:00 PM - 10:00 PM	0	2	9	2	9	22	31
10:00 PM - 11:00 PM	12	2	0	1	0	3	3
11:00 PM - 12:00 AM	18	2	0	2	12	4	16
			0	0	18	2	20
TOTAL	220	220	97	97	317	317	634

Typical AM Street Peak Hour = AM Generator Peak Hour

Typical PM Street Peak Hour

PM Generator Peak Hour

Comment Review Responses (Project Marin Way Parking)

May 20, 2020

Groups who were asked to comment were as follows: Core group, Recreation Commission, Public Works Commission, Pedestrian and Cyclist Advocacy Committee, Select Board, Conservation Commission, Energy Commission.

Groups who responded were as follows:

- a. Core**
 - Parks and Recreation - Seth Hickey
- b. Pedestrian and Cyclist Advocacy Committee**
 - Melissa Gahr (Comments Attached)

No Comments received from the following:

- a. Core**
 - Town Clerk - Joyce Charbonneau
 - Finance - Dawna Duhamel
 - Assessing – Andrea Lewy
 - Fire Chief – Matt Larrabee
 - Code Enforcement Officer – Shanti Wolph
 - Parks and Recreation - Seth Hickey
 - Library - Lesley Kimball
 - Police Chief - Anthony King
 - Public Works - Nathaniel Mears
- b. Public Works Commission**
 - John Boisvert
- c. Select Board**
 - Mike Houghton
- d. Library**
 - Lesley Kimball
- e. Police Chief**
 - Anthony King
- f. Conservation Commission**
 - William McCarthy
- g. Energy Commission**
 - Michael Welty
- h. Recreation Commission**
 - Tracy Abbott

Stephanie Gardner

From: Seth Hickey
Sent: Thursday, May 07, 2020 8:11 AM
To: Stephanie Gardner
Subject: Re: DH and Committee/Commission Chair Review Comments
Attachments: 2020.05.06 DH Comments SP 2 & 8 Marin Way.pdf

Follow Up Flag: Flag for follow up
Flag Status: Flagged

No impact to my Department with this proposal.

No Comment

From: Stephanie Gardner <sgardner@StrathamNH.gov>
Sent: Wednesday, May 6, 2020 12:15 PM
To: John Boisvert <John.boisvert@pennichuck.com>; Melissa Gahr <melissaHGahr@gmail.com>; Michael Welty <MJWelty@comcast.net>; Mike Houghton (Mike@dowlingcorp.com) <Mike@dowlingcorp.com>; Nathaniel Mears <nmears@StrathamNH.gov>; Tracy-Lynn Abbott (tntabbott@comcast.net) <tntabbott@comcast.net>; William McCarthy <mccarthywilliam@comcast.net>; Andrea Lewy <Alewy@StrathamNH.gov>; Anthony King <AKing@strathamdpd.org>; Dawna Duhamel <dduhamel@StrathamNH.gov>; Joyce Charbonneau <JCharbonneau@StrathamNH.gov>; Lesley Kimball <WigginML@comcast.net>; Matt Larrabee <MLarrabee@strathamfire.org>; Nathaniel Mears <nmears@StrathamNH.gov>; Seth Hickey <SHickey@StrathamNH.gov>; Shanti Wolph <swolph@StrathamNH.gov>; Tavis Austin <TAustin@StrathamNH.gov>
Cc: Tavis Austin <TAustin@StrathamNH.gov>
Subject: DH and Committee/Commission Chair Review Comments

Dear Department Heads and Committee/Commission Chairs,

Attached is a Department Head and Committee/Commission Chair Review Comment form for a Planning Board hearing on May 20, 2020. The Board would like to hear from you if you have any comments regarding the project. Please use the fillable form and send your responses to me via email **by 12 PM, Wednesday May 13th**. If you have no comments, please return your form and note "no comment". If we do not receive a response, a no comment response will be shared by the Town Planner with the Board on behalf of your Department, Committee, or Commission.

Best,
Stephanie

Stephanie Gardner
Land Use Project Coordinator
Town of Stratham
(p) 603-772-7391 ext. 178
(fax) 603-775-0517

Privacy should not be assumed with emails associated with Town Business.

Certain emails are public documents and subject to disclosure unless the subject matter is protected by State or Federal Laws. This electronic message and any attachments may contain information that is confidential and/or legally privileged in accordance with NH RSA 91-A and other applicable laws or regulations. It is intended only for the use of the person and/or entity identified as recipient(s) in the message. If you are not an intended recipient of this message, please notify the sender immediately and delete the

Stephanie Gardner

From: Melissa Hanson Gahr <melissahgahr@gmail.com>
Sent: Wednesday, May 06, 2020 2:18 PM
To: Stephanie Gardner
Subject: Re: DH and Committee/Commission Chair Review Comments
Attachments: 2020.05.06 DH Comments SP 2 & 8 Marin Way.pdf

Follow Up Flag: Flag for follow up
Flag Status: Flagged

see attached, thanks.

On Wed, May 6, 2020 at 12:15 PM Stephanie Gardner <sgardner@strathamnh.gov> wrote:

Dear Department Heads and Committee/Commission Chairs,

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TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board's Office/ Administration/ Assessing 603-772-7391

Code Enforcement/ Building Inspections/ Planning 603-772-7391

Fax (All Offices) 603-775-0517

Stratham Planning Department Department Head Project Review

Departments:

- | | |
|--|--|
| <input type="checkbox"/> Assessing Department _____ | <input type="checkbox"/> Police Department _____ |
| <input type="checkbox"/> Building Department _____ | <input type="checkbox"/> Highway Department _____ |
| <input type="checkbox"/> Conservation Commission _____ | <input type="checkbox"/> Recreation Department _____ |
| <input type="checkbox"/> Fire Department _____ | <input type="checkbox"/> Town Clerk _____ |
| <input type="checkbox"/> Planning Department _____ | <input type="checkbox"/> Other _____ |

Project Information:

Project Name: _____

Location: _____

Project Description: _____

Planning Board Hearing Date: _____ Please return to Planner No Later Than: _____

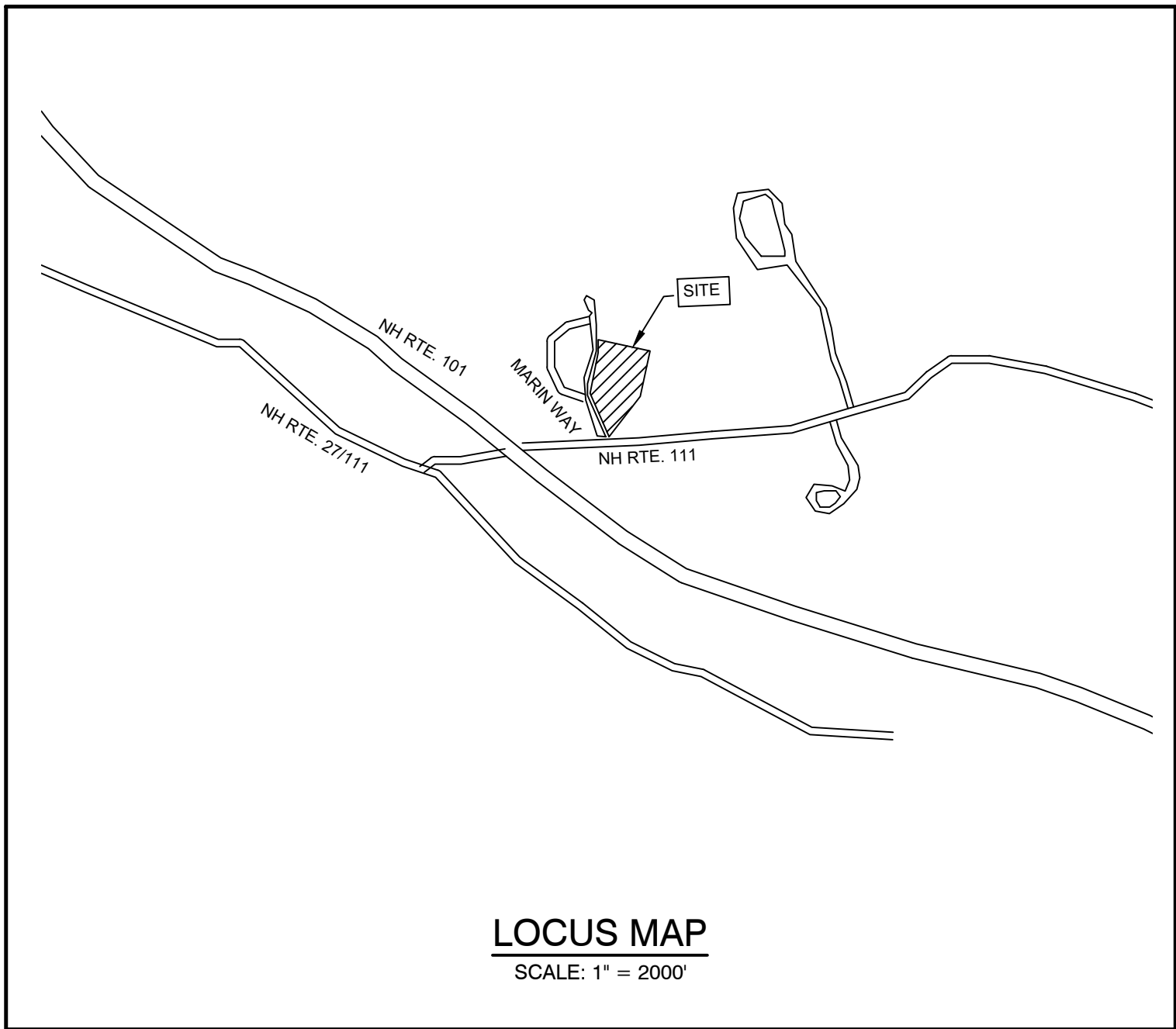
Comments: *Please provide your written comments. If you have no comment and/or all issues have been addressed/provided, please write "No Comment".*

SITE PLAN

PARKING LOT EXPANSION

2 & 8 MARIN WAY, STRATHAM, NH

TAX MAP 1, LOTS 9 & 10



LOCUS MAP
SCALE: 1" = 2000'

SHEET INDEX

CS	COVER SHEET
A1-A2	EASEMENT PLAN
DM1	DEMOLITION PLAN
C2	SITE PLAN
C3	GRADING AND DRAINAGE PLAN
C4	UTILITY PLAN
L1	LANDSCAPE PLAN
L2	LIGHTING PLAN
D1-D2	DETAIL SHEET
E1	EROSION AND SEDIMENT CONTROL DETAILS

ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

STRATHAM ABUTTERS:
1/2
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

1/3
ALBANY ROAD - 200 DOMAIN LLC
10 HIGH ST, STE 700
BOSTON, MA 02110
5690/1565 (02/05/16)

1/8
MARIN WAY INVESTMENT CORP
PO BOX 432
STRATHAM, NH 03885
3265/568 (01/29/98)

1/11
WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
1661 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12
POWER REALTY TRUST
DIANA CORMIER - TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

NORTH HAMPTON ABUTTERS:
10/3 & 5
KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

10/4
TOWN OF NORTH HAMPTON
233 ATLANTIC AVE
NORTH HAMPTON, NH 03862
2939/0589 (08/17/92)

10/8
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

HAMPTON ABUTTERS:
7/3
HAMPTON CONSERVATION COMMISSION
100 MINNACUNNET RD
HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT
7 HAZEN DR
CONCORD, NH 03302

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

APPROVED - STRATHAM, NH
PLANNING BOARD

DATE:

W:\19226 STRATHAM - 8 MARIN WAY - REALTY ACQ\DWG\05063-PLAN.dwg 4/21/2020 11:25:17 AM EDT

EXISTING	PROPOSED	DESCRIPTION
		PROPERTY LINES
		SETBACK LINES
		CENTERLINE
		FRESHWATER WETLANDS LINE
		TIDAL WETLANDS LINE
		STREAM CHANNEL
		TREE LINE
		STONEWALL
		BARBED WIRE
		FENCING
		STOCKADE FENCE
		SOIL BOUNDARY
		AQUIFER PROTECTION LINE
		ZONELINE
		EASEMENT
		MAJOR CONTOUR
		MINOR CONTOUR
		EDGE OF PAVEMENT
		VERTICAL GRANITE CURB
		SLOPE GRANITE CURB
		CAPE COD BERM
		POURED CONCRETE CURB
		SILT FENCE
		DRAINAGE LINE
		SEWER LINE
		SEWER FORCE MAIN
		GAS LINE
		WATER LINE
		WATER SERVICE
		OVERHEAD ELECTRIC
		UNDERGROUND ELECTRIC
		GUARDRAIL
		UNDERDRAIN
		FIRE PROTECTION LINE
		THRUST BLOCK
		IRON PIPE/IRON ROD
		DRILL HOLE
		STONE/GRANITE BOUND
		SPOT GRADE
		PAVEMENT SPOT GRADE
		CURB SPOT GRADE
		TBM
		DOUBLE POST SIGN
		SINGLE POST SIGN
		WELL
		TEST PIT
		FAILED TEST PIT
		MONITORING WELL
		PERC TEST
		PHOTO LOCATION
		TREES AND BUSHES
		UTILITY POLE
		LIGHT POLES
		DRAIN MANHOLE
		SEWER MANHOLE
		HYDRANT
		WATER GATE
		WATER SHUT OFF
		REDUCER
		SINGLE GRATE CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		TRANSFORMER
		CULVERT W/WINGWALLS
		CULVERT W/FLARED END SECTION
		CULVERT W/STRAIGHT HEADWALL
		STONE CHECK DAM
		DRAINAGE FLOW DIRECTION
		4K SEPTIC AREA
		WETLAND IMPACT
		VEGETATED FILTER STRIP
		RIPRAP
		OPEN WATER
		FRESHWATER WETLANDS
		TIDAL WETLANDS
		STABILIZED CONSTRUCTION ENTRANCE
		CONCRETE
		GRAVEL
		SNOW STORAGE
		RETAINING WALL

CIVIL ENGINEER
JONES & BEACH ENGINEERS, INC.
85 PORTSMOUTH AVENUE
PO BOX 219
STRATHAM, NH 03885
(603) 772-4746
CONTACT: JOSEPH CORONATI

Design: JAC	Draft: DJM	Date: 4/23/20
Checked: JAC	Scale: AS SHOWN	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
2	5/19/20	REVISED DRAINAGE	DJM
1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM

J/B

Jones & Beach Engineers, Inc.

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

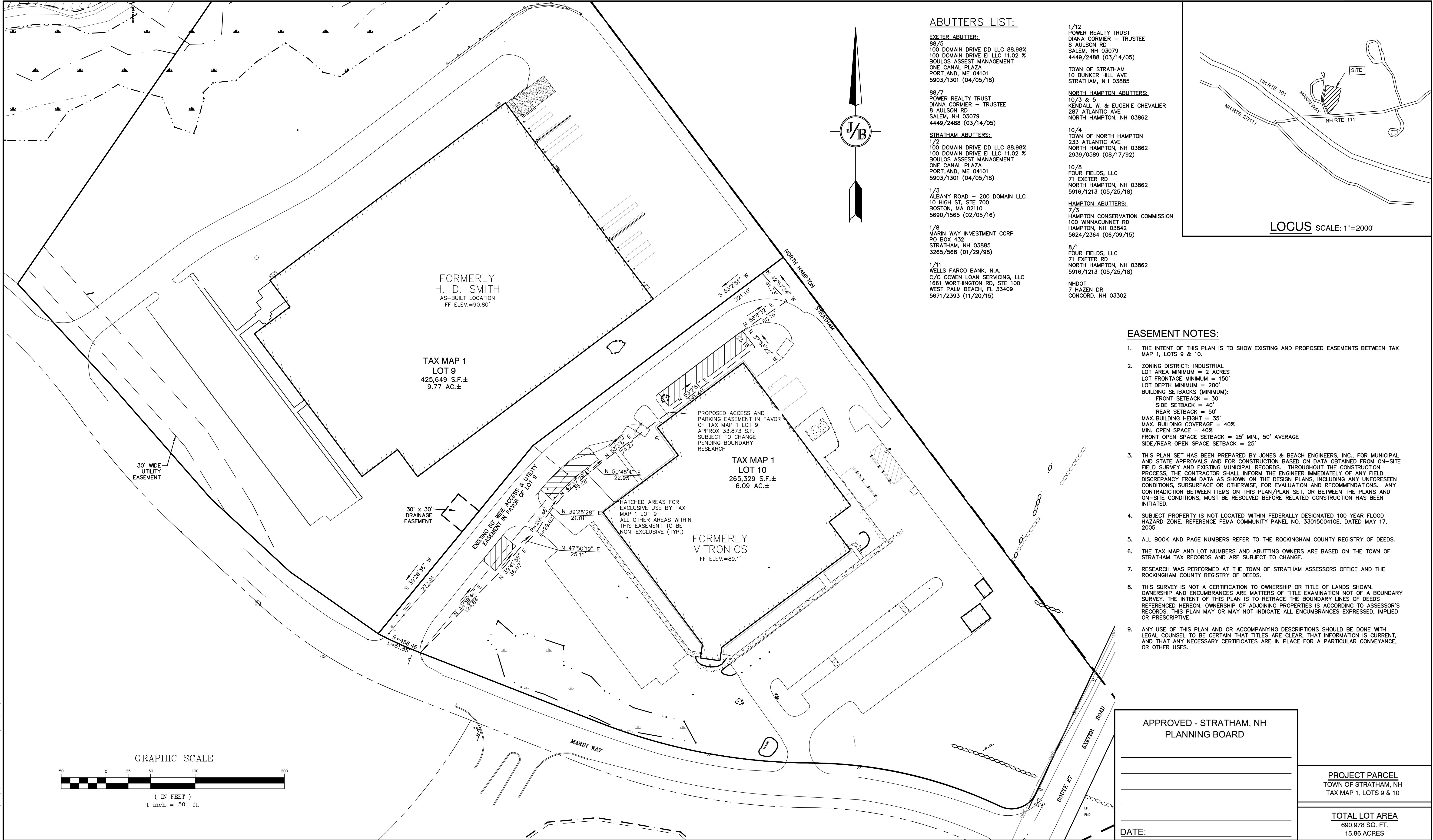
Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	COVER SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Client:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
CS
SHEET 1 OF 12 JBE PROJECT NO. 19226

SITE PLAN, MARIN WAY, STRATHAM, NH
JBE # 19226
REVISION 1/2/20



E:\CADD\MASTER STANDARD\dwg\JB-LAYOUTS.dwg 3/12/2015 3:27:29 PM EDT

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

2	5/19/20	REVISED DRAINAGE	DJM
1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

Designed and Produced in NH

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

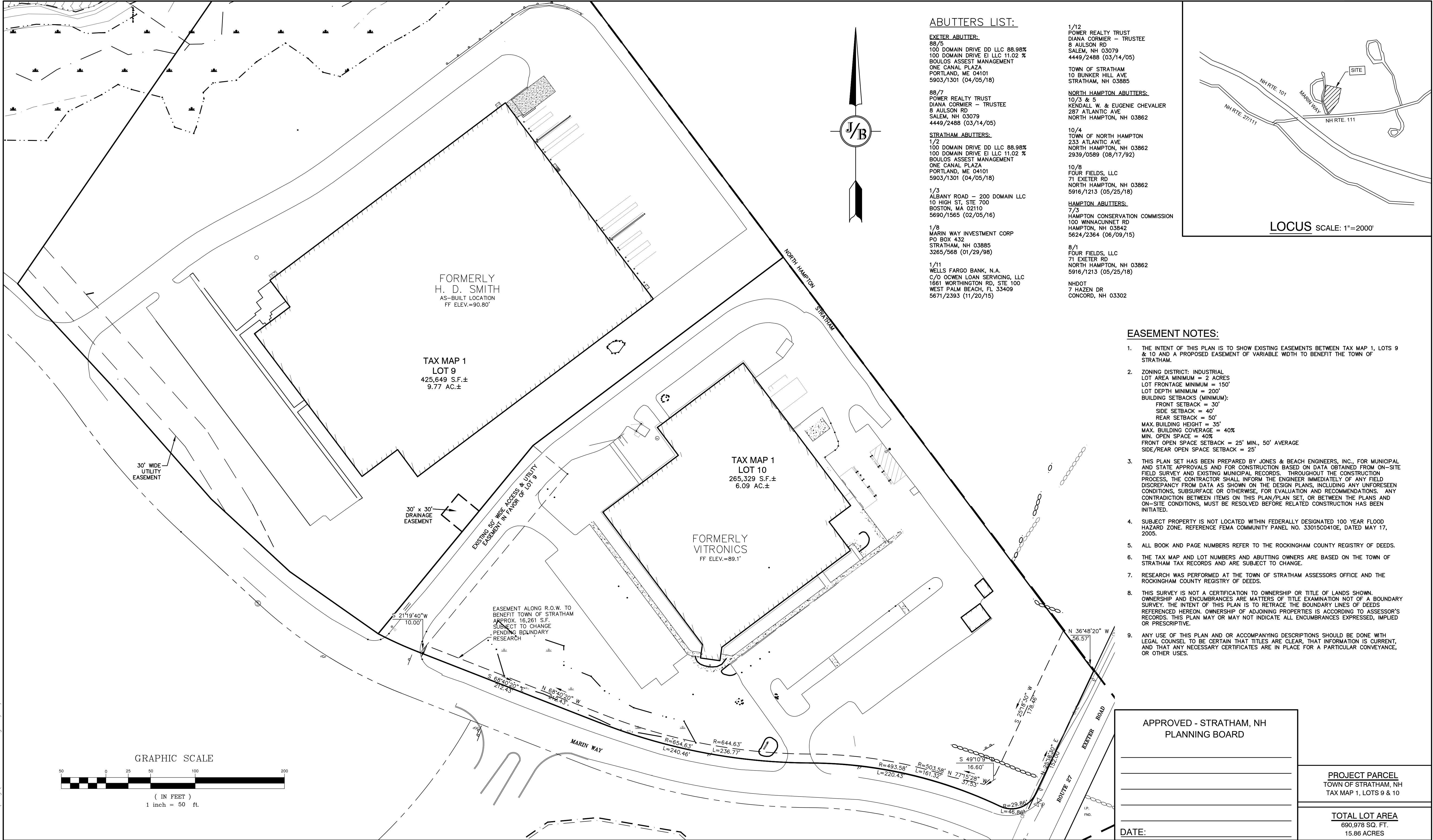
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EASEMENT PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

A1

SHEET 2 OF 12
JBE PROJECT NO. 19226



ABUTTERS LIST:

EXETER ABUTTER:
88/5
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
5903/1301 (04/05/18)

88/7
POWER REALTY TRUST
DIANA CORMIER – TRUSTEE
8 AULSON RD
SALEM, NH 03079
4449/2488 (03/14/05)

STRATHAM ABUTTERS:
1/2
100 DOMAIN DRIVE DD LLC 88.98%
100 DOMAIN DRIVE EI LLC 11.02 %
BOULOS ASSEST MANAGEMENT
ONE CANAL PLAZA
PORTLAND, ME 04101
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BOSTON, MA 02110
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1/8
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PO BOX 432
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1/11
WELLS FARGO BANK, N.A.
C/O OCWEN LOAN SERVICING, LLC
1681 WORTHINGTON RD, STE 100
WEST PALM BEACH, FL 33409
5671/2393 (11/20/15)

1/12
POWER REALTY TRUST
DIANA CORMIER – TRUSTEE
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SALEM, NH 03079
4449/2488 (03/14/05)

TOWN OF STRATHAM
10 BUNKER HILL AVE
STRATHAM, NH 03885

NORTH HAMPTON ABUTTERS:
10/3 & 5
KENDALL W. & EUGENIE CHEVALIER
287 ATLANTIC AVE
NORTH HAMPTON, NH 03862

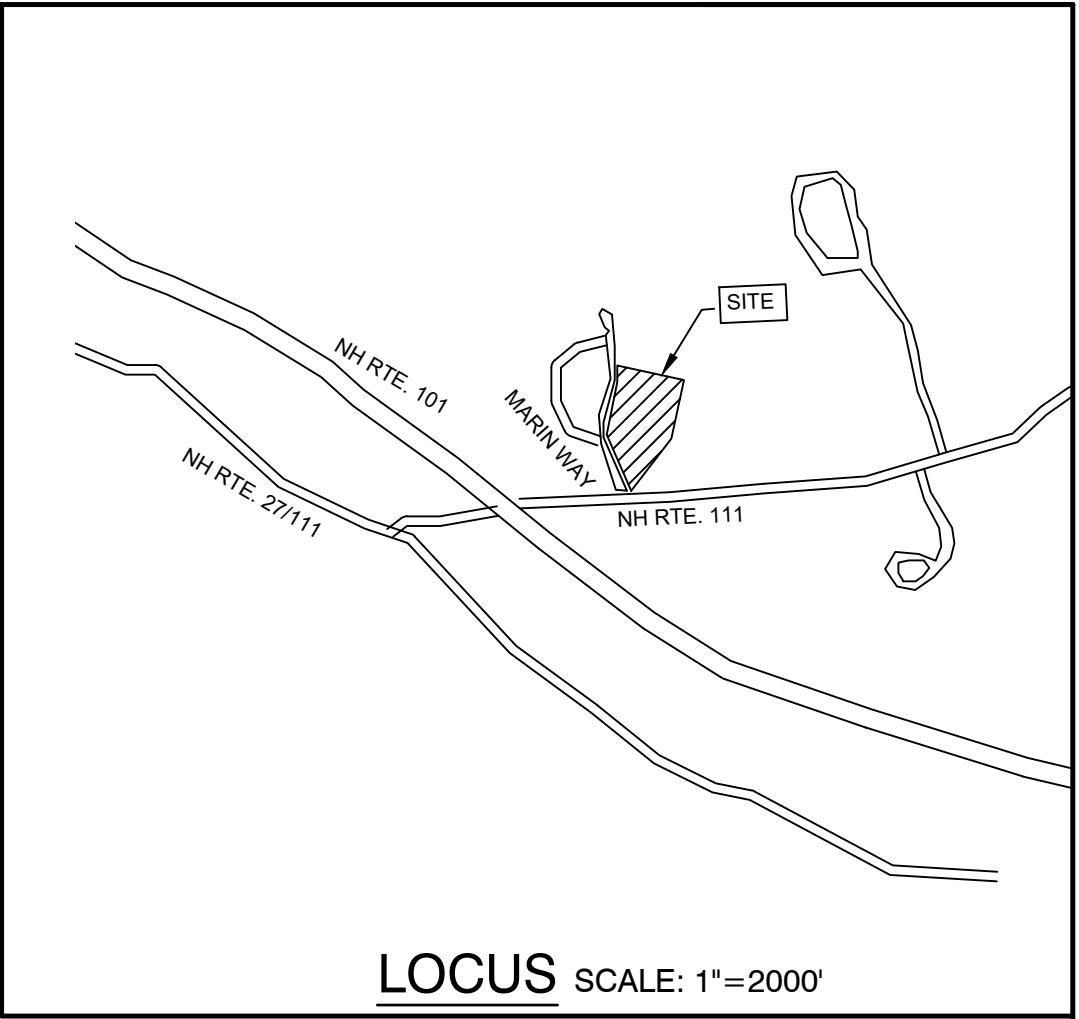
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HAMPTON, NH 03842
5624/2364 (06/09/15)

8/1
FOUR FIELDS, LLC
71 EXETER RD
NORTH HAMPTON, NH 03862
5916/1213 (05/25/18)

NHDOT
7 HAZEN DR
CONCORD, NH 03302



EASEMENT NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW EXISTING EASEMENTS BETWEEN TAX MAP 1, LOTS 9 & 10 AND A PROPOSED EASEMENT OF VARIABLE WIDTH TO BENEFIT THE TOWN OF STRATHAM.
- ZONING DISTRICT: INDUSTRIAL
LOT AREA MINIMUM = 2 ACRES
LOT FRONTAGE MINIMUM = 150'
LOT DEPTH MINIMUM = 200'
BUILDING SETBACKS (MINIMUM):
FRONT SETBACK = 30'
SIDE SETBACK = 40'
REAR SETBACK = 50'
MAX. BUILDING HEIGHT = 35'
MAX. BUILDING COVERAGE = 40%
MIN. OPEN SPACE = 40%
FRONT OPEN SPACE SETBACK = 25' MIN., 50' AVERAGE
SIDE/REAR OPEN SPACE SETBACK = 25'
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR MUNICIPAL AND STATE APPROVALS AND FOR CONSTRUCTION BASED ON DATA OBTAINED FROM ON-SITE FIELD SURVEY AND EXISTING MUNICIPAL RECORDS. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCY FROM DATA AS SHOWN ON THE DESIGN PLANS, INCLUDING ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE, FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS ON THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS, MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN FEDERALLY DESIGNATED 100 YEAR FLOOD HAZARD ZONE. REFERENCE FEMA COMMUNITY PANEL NO. 33015C0410E, DATED MAY 17, 2005.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS AND ABUTTING OWNERS ARE BASED ON THE TOWN OF STRATHAM TAX RECORDS AND ARE SUBJECT TO CHANGE.
- RESEARCH WAS PERFORMED AT THE TOWN OF STRATHAM ASSESSORS OFFICE AND THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESCRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATES ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.

APPROVED - STRATHAM, NH
PLANNING BOARD

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

DATE:

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

2	5/19/20	REVISED DRAINAGE	DJM
1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

J/B

Jones & Beach Engineers, Inc.

Designed and Produced in NH

85 Portsmouth Ave.
PO Box 219
Stratham, NH 03885

Civil Engineering Services

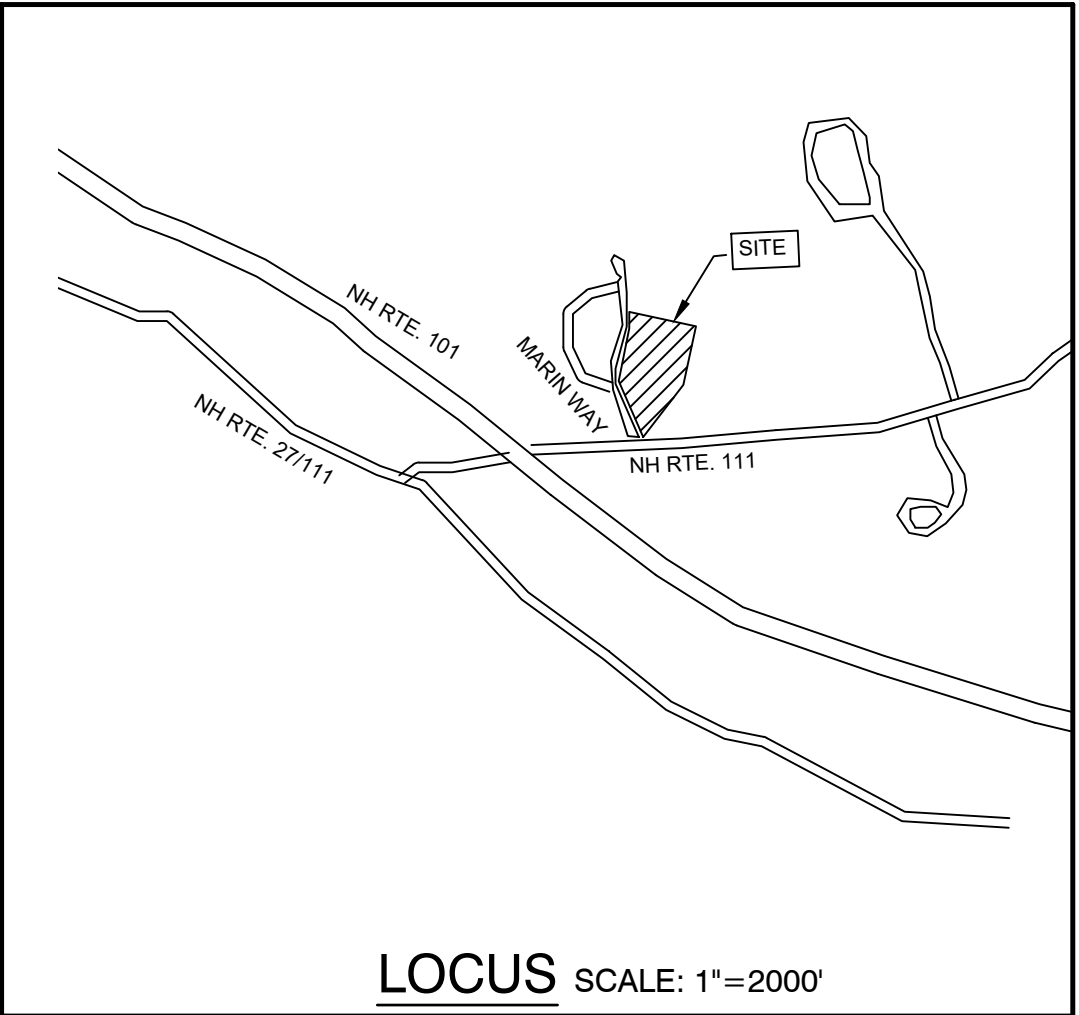
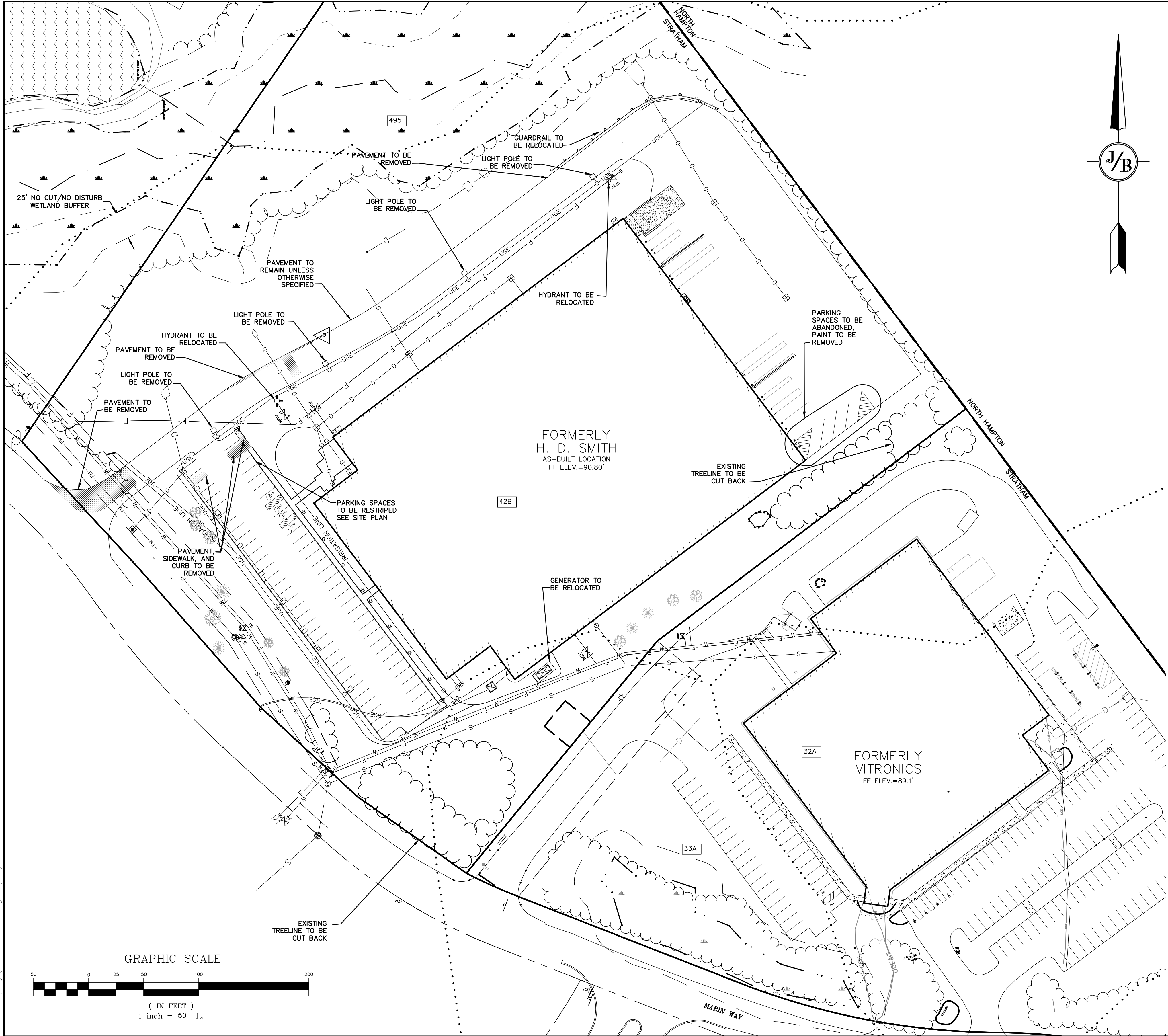
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EASEMENT PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.I.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

A2

SHEET 3 OF 12
JBE PROJECT NO. 19226



DEMOLITION NOTES:

- THIS PLAN IS INTENDED TO PROVIDE MINIMUM GUIDELINES FOR SITE DEMOLITION. IT SHOULD BE NOTED THAT ALL MANMADE FEATURES, PAVEMENT, SIGNS, POLES, CURBING, CONCRETE WALKS, UTILITIES, ETC., SHALL BE REMOVED AS NECESSARY TO CONSTRUCT WORK, UNLESS OTHERWISE NOTED TO REMAIN. THROUGHOUT THE CONSTRUCTION PROCESS, THE CONTRACTOR SHALL INFORM THE ENGINEER IMMEDIATELY OF ANY FIELD DISCREPANCIES FROM DATA AS SHOWN ON DESIGN PLANS. THIS INCLUDES ANY UNFORESEEN CONDITIONS, SUBSURFACE OR OTHERWISE FOR EVALUATION AND RECOMMENDATIONS. ANY CONTRADICTION BETWEEN ITEMS OF THIS PLAN/PLAN SET, OR BETWEEN THE PLANS AND ON-SITE CONDITIONS MUST BE RESOLVED BEFORE RELATED CONSTRUCTION HAS BEEN INITIATED.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR IS REQUIRED TO HAVE THE PROJECT LAND SURVEYOR STAKE OR FLAG CLEARING LIMITS. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED. CLEARING LIMITS ARE THE EDGE OF THE PROPERTY AND THE LIMITS OF WORK.
- ALL EXISTING STRUCTURES WITHIN THE CONSTRUCTION AREA, UNLESS OTHERWISE NOTED TO REMAIN, SHALL BE REMOVED AND DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL GUIDELINES. ANY BURNING ON-SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL EXISTING PAVED SURFACES WITHIN THE LIMITS OF WORK THAT ARE TO REMAIN SHALL BE RECLAIMED TO MINIMUM DEPTH OF 12" AND REGRADED AS SHOWN ON THE GRADING AND DRAINAGE PLAN. RECLAIMED ASPHALT SHALL CONFORM TO STATE SPECIFICATIONS. PRIOR TO REMOVAL, PAVEMENT SHALL BE SAWCUT AT ALL ENTRANCES AND LIMITS OF REMOVAL.
- ALL EXISTING GRANITE CURBING TO BE REMOVED SHALL BE STOCKPILED IN AN AREA TO BE DESIGNATED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE OWNER SHALL INSPECT GRANITE CURBING TO BE RESET AND APPROVE LOCATION OF RESET CURBING. THE CONTRACTOR SHALL NOT INSTALL USED CURBING AT ANY ENTRANCE LOCATIONS.
- ALL EXISTING UTILITIES SHALL BE TERMINATED AT THE PROPERTY LINE, UNLESS OTHERWISE NOTED ON THE PLANS, IN CONFORMANCE WITH LOCAL, STATE AND UTILITY COMPANY STANDARDS, SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES PRIOR TO THE START OF WORK.
- ALL CURBING, CONCRETE, PAVEMENT, BUILDINGS AND SUBBASE MATERIALS LOCATED WITHIN PROPOSED LANDSCAPED AREAS SHALL BE REMOVED AND REPLACED WITH LOAM MATERIALS SUITABLE FOR LANDSCAPING IN ACCORDANCE WITH TECHNICAL SPECIFICATIONS. (SEE ALSO LANDSCAPE PLAN).
- SEE LANDSCAPE PLAN FOR TREES TO BE SAVED AND DETAILS ASSOCIATED WITH LANDSCAPED AREAS.
- THE CONTRACTOR SHALL OBTAIN TREE CLEARING PERMIT FROM LOCAL AND STATE AUTHORITIES PRIOR TO START OF CONSTRUCTION (IF REQUIRED).
- EXISTING SANITARY SEWER LINE AND STRUCTURES LOCATED WITHIN THE EXISTING SEWER EASEMENTS SHALL BE MAINTAINED.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND ANY EARTH MOVING OPERATIONS. SILT FENCE SHALL BE INSTALLED AT THE LIMITS OF IMPACT AREAS ACCORDING TO THE DETAILS SHOWN ON SHEET E1.
- EXCAVATED MATERIALS WILL BE PLACED WITHIN UPLAND AREAS AS FILL MATERIAL OR HAULED OFF-SITE FOR DISPOSAL IN AN APPROPRIATE UPLAND LOCATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM

J/B

Jones & Beach Engineers, Inc.

Designed and Produced in NH

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PO Box 219
Stratham, NH 03885

Civil Engineering Services

603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

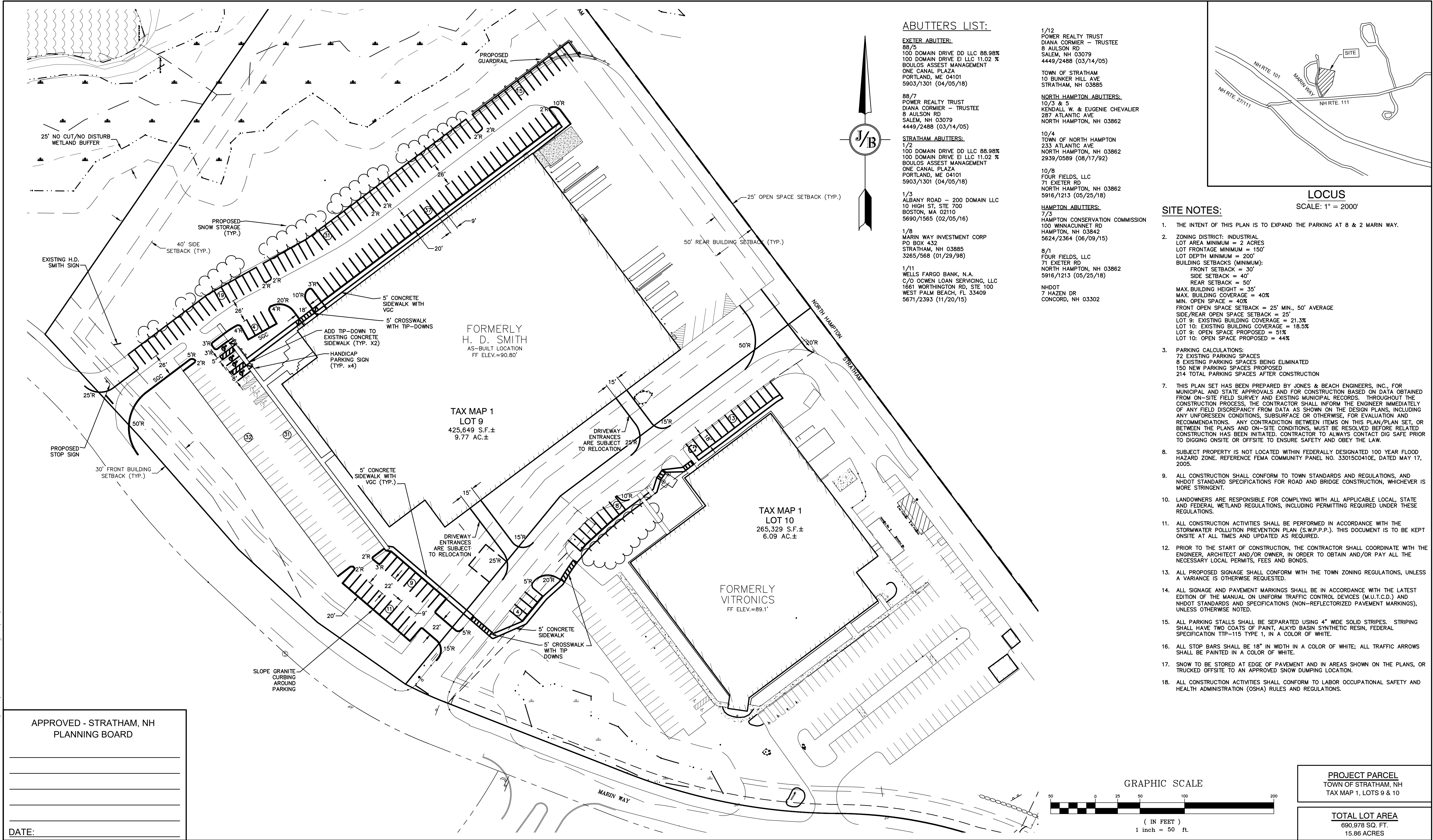
Plan Name:	DEMOLITION PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

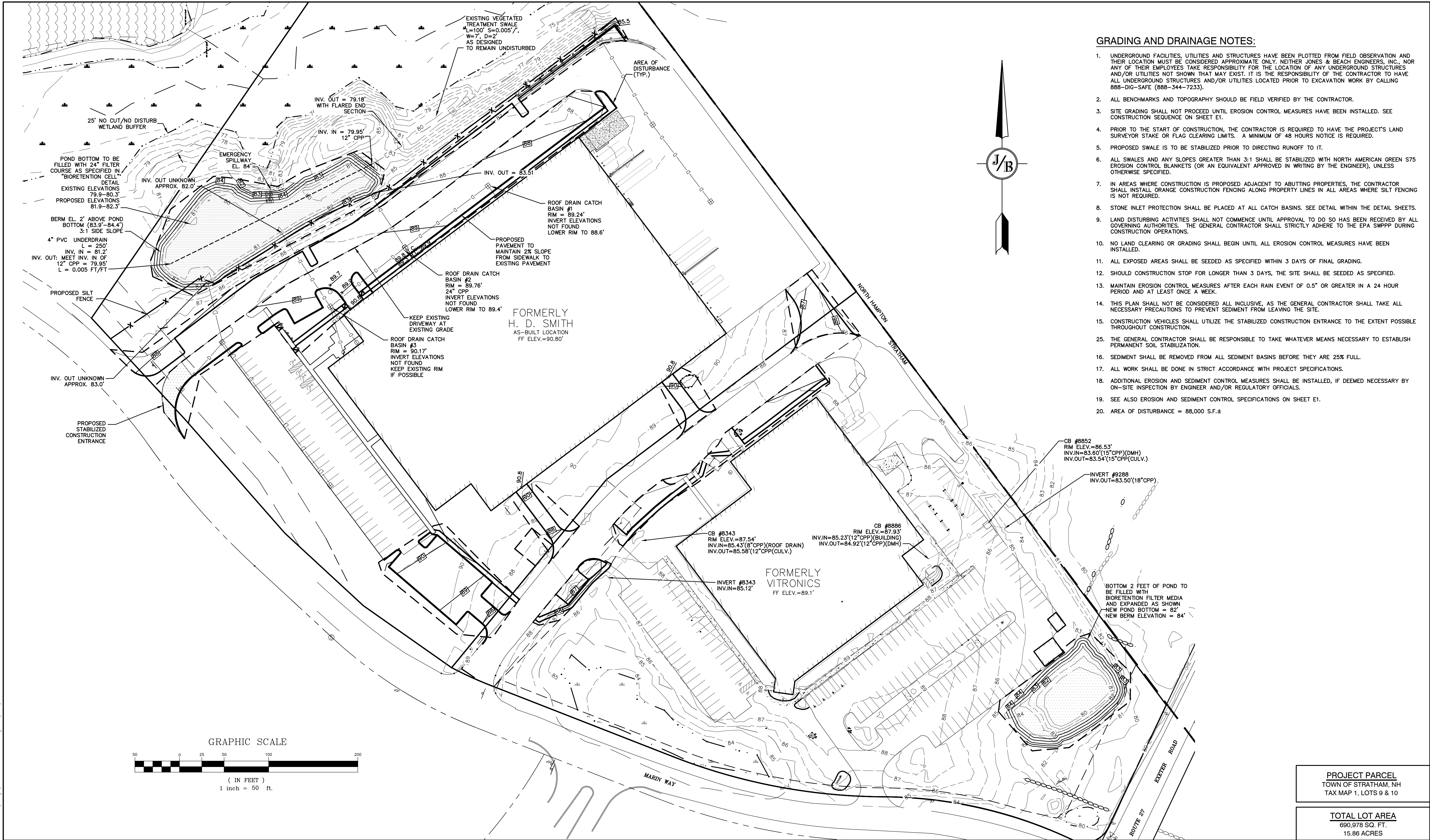
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SHEET 4 OF 12
JBE PROJECT NO. 19226

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Design: JAC	Draft: DJM	Date: 04/23/20
Checked: JAC	Scale: AS NOTED	Project No.: 19226
Drawing Name: 19226-PLAN.dwg		
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

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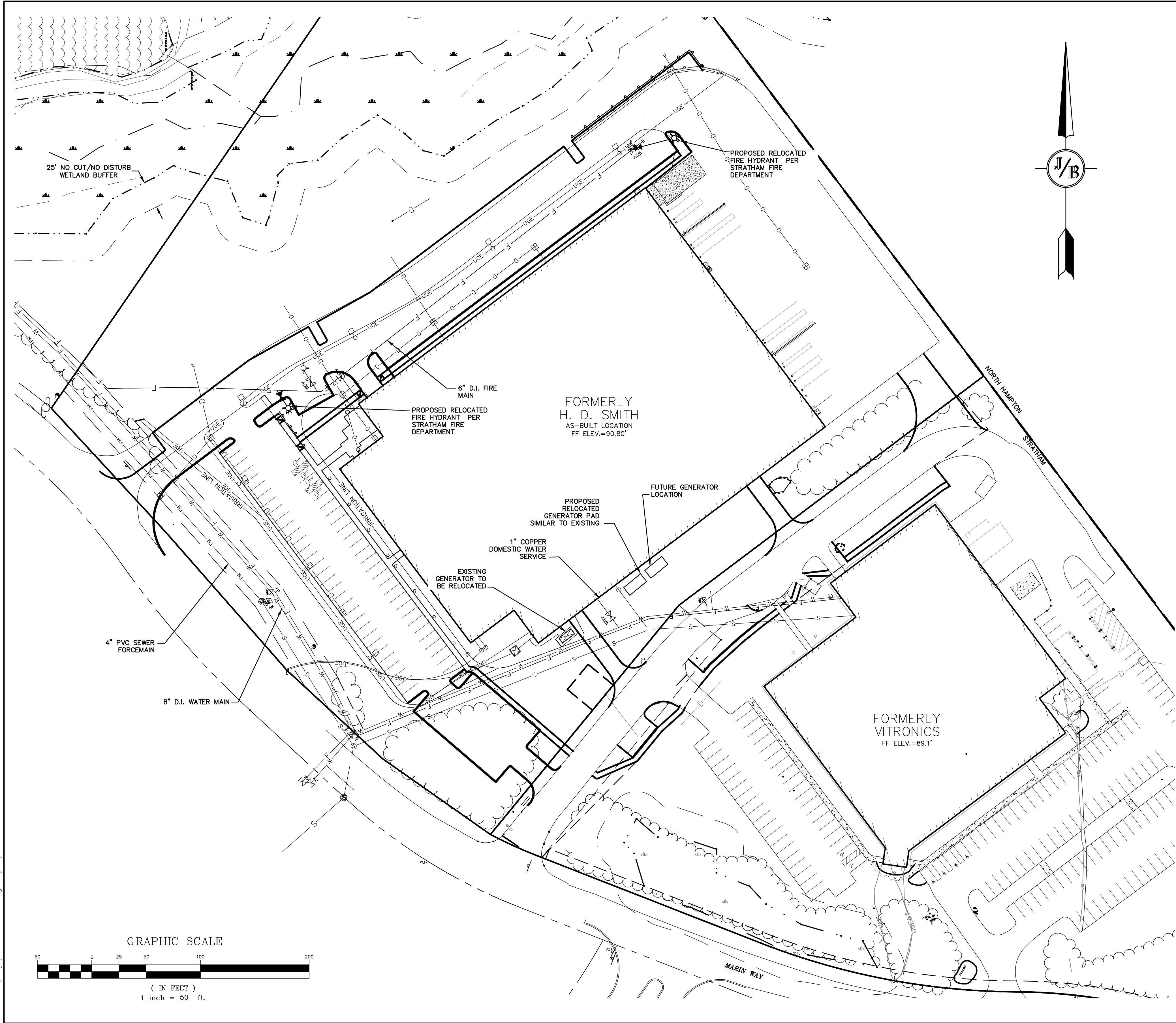
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	GRADING AND DRAINAGE PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.

C3

SHEET 6 OF 12
JBE PROJECT NO. 19226



- UTILITY NOTES:**
1. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER, ARCHITECT AND/OR OWNER, IN ORDER TO OBTAIN AND/OR PAY ALL THE NECESSARY LOCAL PERMITS, CONNECTION FEES AND BONDS.
 2. THE CONTRACTOR SHALL PROVIDE A MINIMUM NOTICE OF FOURTEEN (14) DAYS TO ALL CORPORATIONS, COMPANIES AND/OR LOCAL AUTHORITIES OWNING OR HAVING A JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS PROJECT AREAS PRIOR TO DEMOLITION AND/OR CONSTRUCTION ACTIVITIES.
 3. THE LOCATION, SIZE, DEPTH AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE TO THE STANDARDS AND REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY.
 4. A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE OWNER, ENGINEER, ARCHITECT, CONTRACTOR, LOCAL OFFICIALS, AND ALL PROJECT-RELATED UTILITY COMPANIES (PUBLIC AND PRIVATE) PRIOR TO START OF CONSTRUCTION.
 5. ALL CONSTRUCTION SHALL CONFORM TO THE TOWN STANDARDS AND REGULATIONS, AND NHDES STANDARDS AND SPECIFICATIONS, WHICHEVER ARE MORE STRINGENT.
 6. ALL CONSTRUCTION ACTIVITIES SHALL CONFORM TO LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) RULES AND REGULATIONS.
 7. BUILDING TO BE SERVICED BY UNDERGROUND UTILITIES UNLESS OTHERWISE NOTED.
 8. THE CONTRACTOR IS TO VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITY STUBS PRIOR TO CONSTRUCTION AND DISCONNECT ALL EXISTING SERVICE CONNECTIONS AT THEIR RESPECTIVE MAINS IN ACCORDANCE WITH THE RESPECTIVE UTILITY COMPANY'S STANDARDS AND SPECIFICATIONS. ENGINEER TO BE NOTIFIED.
 9. AS-BUILT PLANS SHALL BE SUBMITTED TO DEPARTMENT OF PUBLIC WORKS.
 10. CONTRACTOR TO FURNISH SHOP DRAWINGS FOR UTILITY RELATED ITEMS TO ENSURE CONFORMANCE WITH THE PLANS AND SPECIFICATIONS. SHOP DRAWINGS SHOULD BE SENT IN TRIPLICATE TO THE DESIGN ENGINEER FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
 11. EXISTING UTILITIES SHALL BE DIGSAFED BEFORE CONSTRUCTION.
 12. LIGHTING CONDUIT SHALL BE SCHEDULE 40 PVC, AND SHALL BE INSTALLED IN CONFORMANCE WITH THE NATIONAL ELECTRIC CODE. CONTRACTOR SHALL PROVIDE EXCAVATION AND BACKFILL.
 13. ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.

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Drawing Name: 19226-PLAN.dwg		
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REV.	DATE	REVISION	BY

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Civil Engineering Services

603-772-4746
FAX: 603-772-0227
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Plan Name:	UTILITY PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

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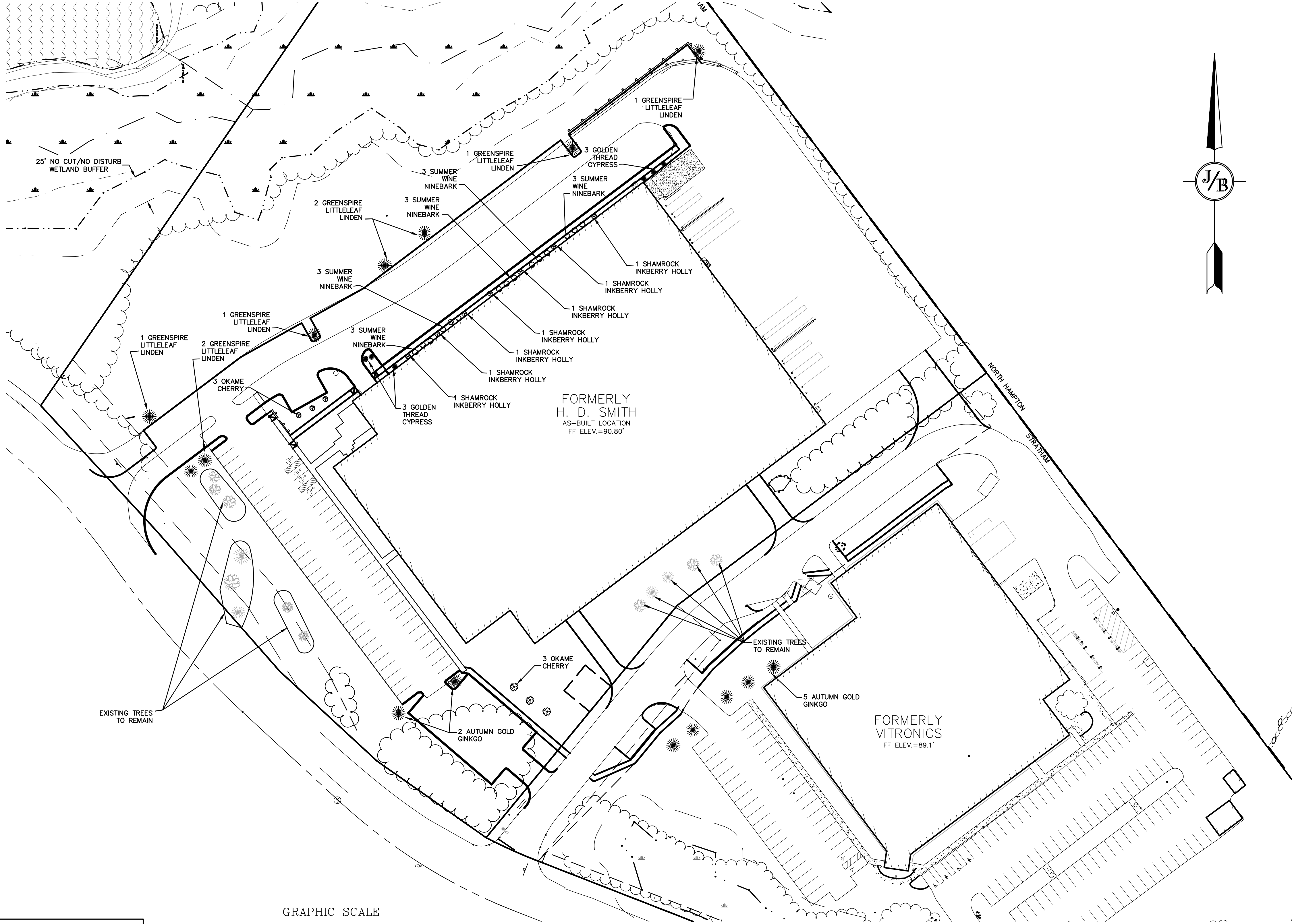
C4

SHEET 7 OF 12
JBE PROJECT NO. 19226

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES

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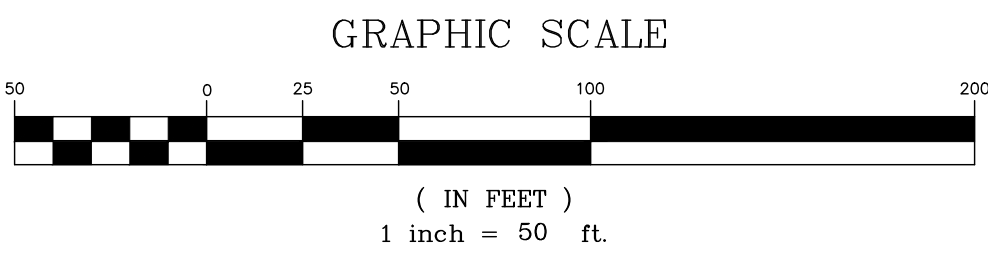


LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK.
2. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THE DRAWINGS.
3. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL PLANT SUBSTITUTIONS MUST BE APPROVED.
5. ALL PLANT MATERIALS SHALL BE EXACTLY AS SPECIFIED OR SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER.
6. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, UPON DELIVERY OR AT THE JOB SITE WHILE WORK IS ON-GOING FOR CONFORMITY TO SPECIFIED QUALITY, SIZE AND VARIETY.
7. PLANTS FURNISHED IN CONTAINERS SHALL HAVE THE ROOTS WELL ESTABLISHED IN THE SOIL MASS AND SHALL HAVE AT LEAST ONE (1) GROWING SEASON. ROOT-BOUND PLANTS OR INADEQUATELY SIZED CONTAINERS TO SUPPORT THE PLANT MAY BE DEEMED UNACCEPTABLE.
8. NO PLANT SHALL BE PUT IN THE GROUND BEFORE GRADING HAS BEEN FINISHED.
9. ALL WORK AND PLANTS SHALL BE DONE, INSTALLED AND DETAILED IN STRICT ACCORDANCE WITH PROJECT SPECIFICATIONS.
10. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL BE WATERED WEEKLY, OR MORE OFTEN IF NECESSARY, DURING THE FIRST GROWING SEASON.
11. BY THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL HAVE REPLACED ANY PLANT MATERIAL THAT IS MISSING, NOT TRUE TO SIZE AS SPECIFIED, THAT HAS DIED, LOST NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING OR INADEQUATE OR IMPROPER CARE, OR THAT IS IN UNHEALTHY OR UNSIGHTLY CONDITION.
12. ALL LANDSCAPE AREAS TO BE GRASS COMMON TO REGION, EXCEPT FOR INTERIOR LANDSCAPED ISLANDS OR WHERE OTHER PLANT MATERIAL IS SPECIFIED.
13. ALL TREES AND SHRUBS SHALL BE PLANTED IN MULCH BEDS WITH EDGE STRIPS TO SEPARATE TURF GRASS AREAS.
14. THE CONTRACTOR SHALL REMOVE WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC. FROM ANY LANDSCAPE AREA SO DESIGNATED TO REMAIN, WHETHER ON OR OFF-SITE.
15. FINISHED GRADES IN LANDSCAPED ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" HIGHER THAN THE TOP OF THE SURROUNDING CURB.
16. ALL LANDSCAPING SHALL MEET THE TOWN STANDARDS AND REGULATIONS.
17. EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY SNOW FENCING AT THE DRIPLINE OF THE TREE. THE CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS WITHIN THE LANDSCAPED AREAS. ANY DAMAGE TO EXISTING TREES, SHRUBS OR LAWN SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
18. ALL MULCH AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED PINE BARK MULCH OVER A 10 MIL WEED MAT EQUAL TO 'WEEDBLOCK' BY EASY GARDENER OR DEWITT WEED BARRIER.
19. ALL LANDSCAPED AREAS SHALL HAVE SELECT MATERIALS REMOVED TO A DEPTH OF AT LEAST 9" BELOW FINISH GRADE. THE RESULTING VOID IS TO BE FILLED WITH A MINIMUM OF 9" HIGH-QUALITY SCREENED LOAM AMENDED WITH 3" OF AGED ORGANIC COMPOST.
20. THIS PLAN IS INTENDED FOR LANDSCAPING PURPOSES ONLY. REFER TO CIVIL/SITE DRAWINGS FOR OTHER SITE CONSTRUCTION INFORMATION.

PROJECT PARCEL
TOWN OF STRATHAM, NH
TAX MAP 1, LOTS 9 & 10

TOTAL LOT AREA
690,978 SQ. FT.
15.86 ACRES



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Drawing Name: 19226-PLAN.dwg		
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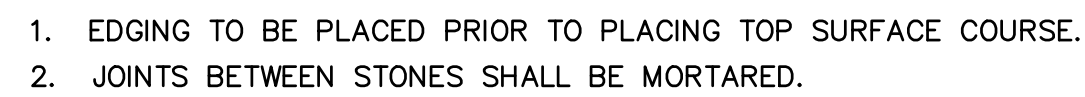
REV.	DATE	REVISION	BY
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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
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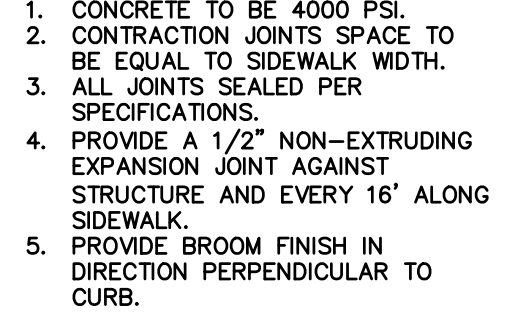
Designed and Produced in NH
Civil Engineering Services
603-772-4746
FAX: 603-772-0227
E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	LANDSCAPE PLAN
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

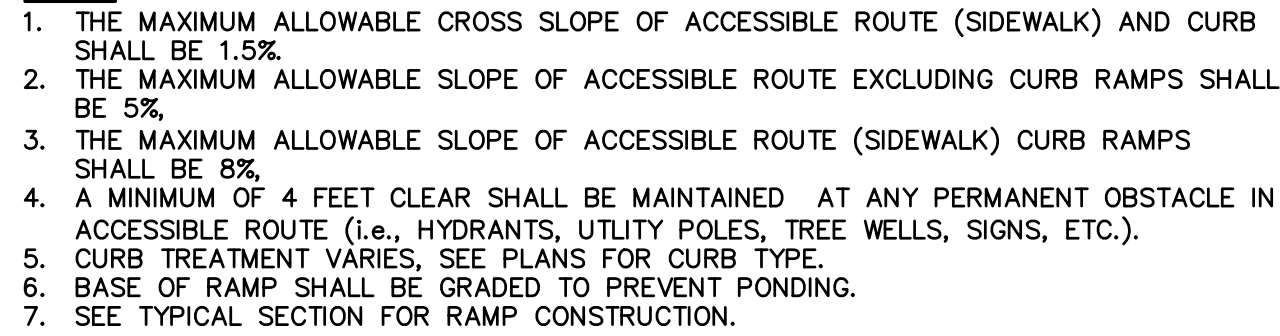
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L1
SHEET 8 OF 12 JBE PROJECT NO. 19226



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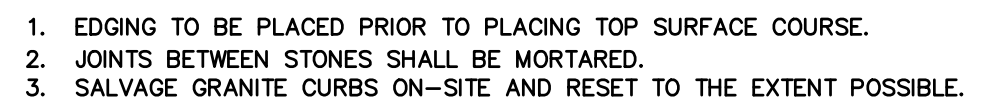
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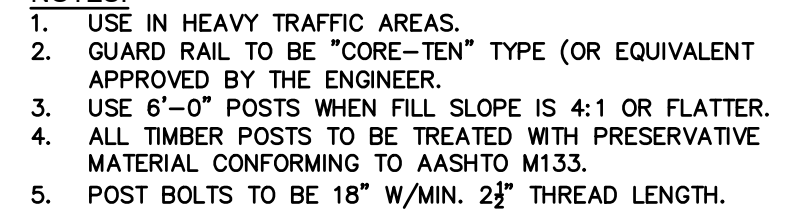
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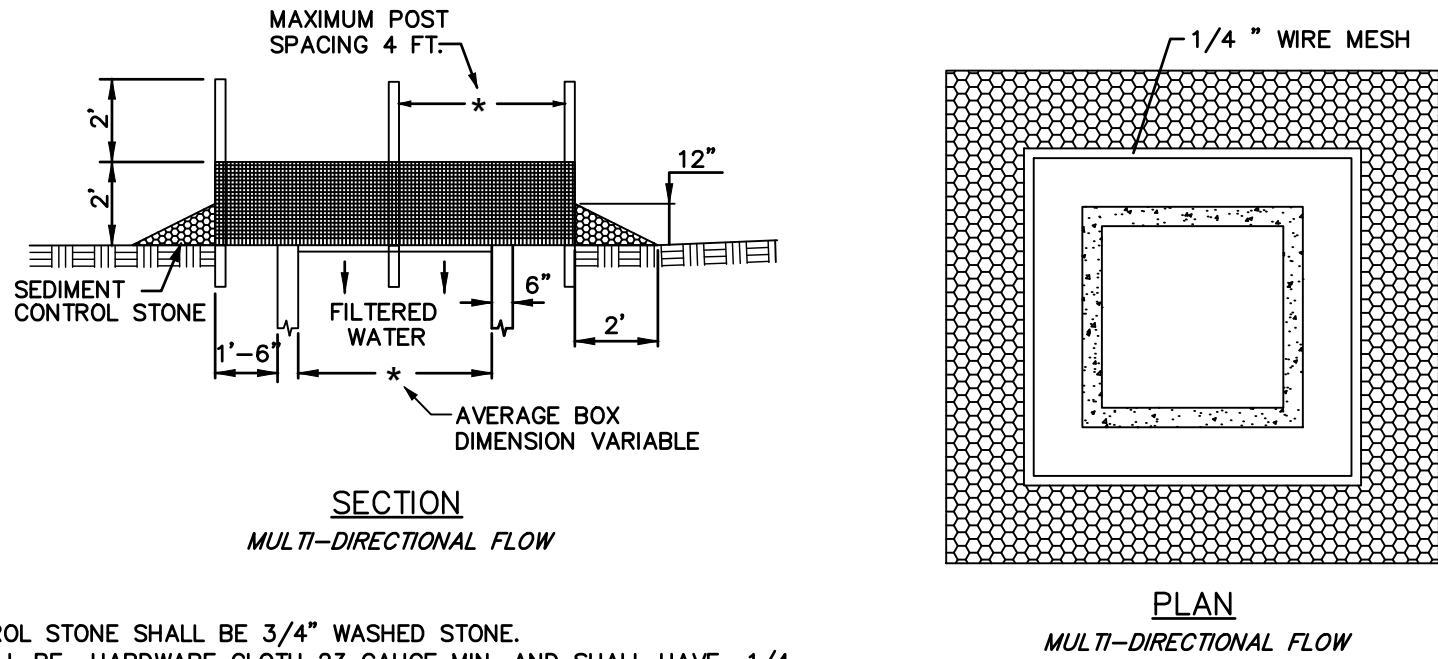
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D1

SHEET 10 OF 12
JBE PROJECT NO. 19226

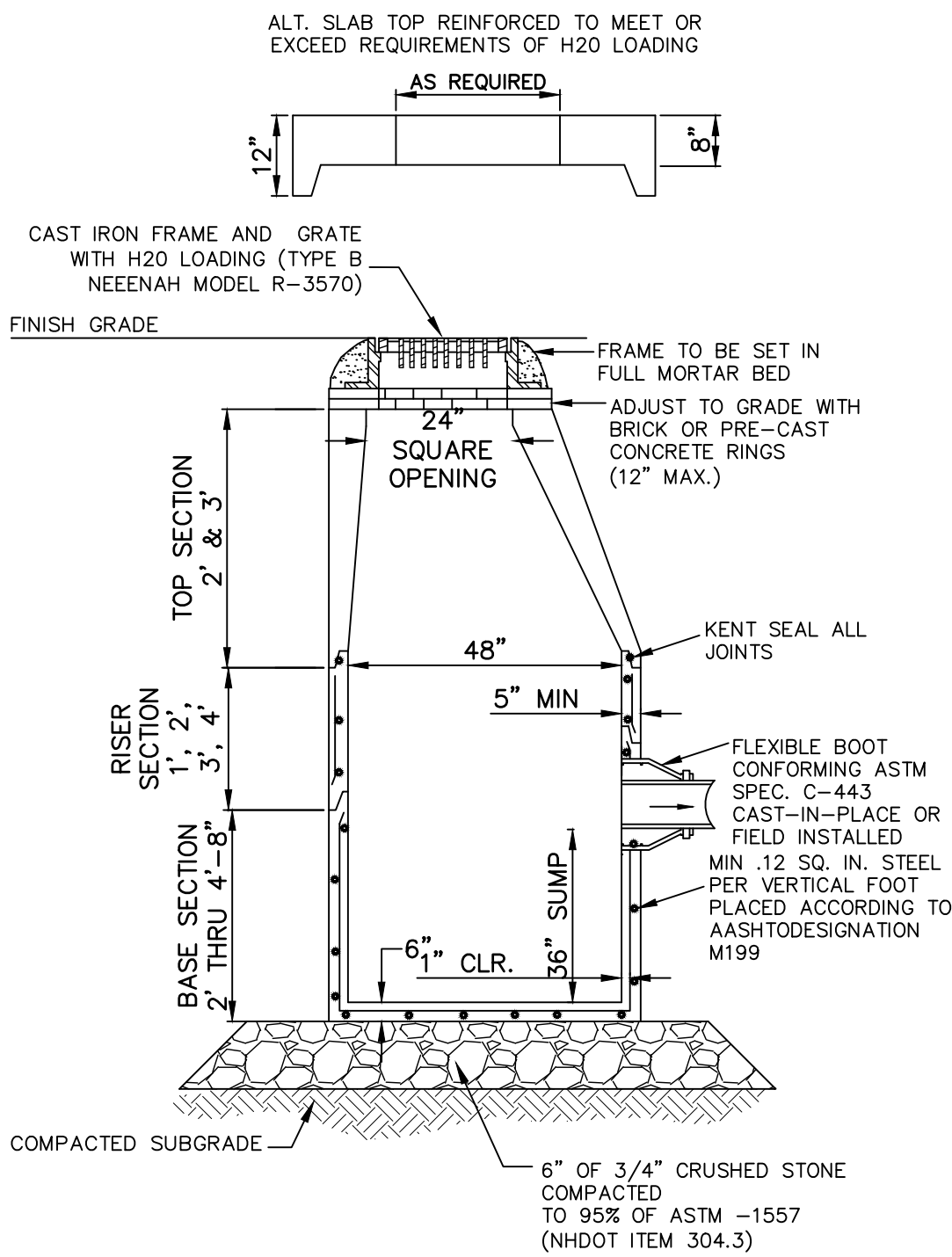
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- NOTES:
1. SEDIMENT CONTROL STONE SHALL BE 3/4" WASHED STONE.
 2. WIRE MESH SHALL BE HARDWARE CLOTH 23 GAUGE MIN. AND SHALL HAVE 1/4 INCH MESH OPENINGS.
 3. TOP OF WIRE MESH SHALL BE A MINIMUM OF ONE FOOT BELOW THE SHOULDER OR ANY DIVERSION POINT.
 4. STEEL POST SHALL BE 5 FT. IN HEIGHT, BE INSTALLED 1.5 FT. DEEP MINIMUM, AND BE OF THE SELF-FASTENER ANGLE STEEL TYPE.
 5. WOOD POST SHALL BE 6 FT. IN HEIGHT, BE INSTALLED TO 1.5 FT. DEEP MINIMUM, AND BE 3 INCHES IN DIAMETER.
 6. POST SPACING SHALL BE A MAXIMUM OF 4 FT.

INLET PROTECTION

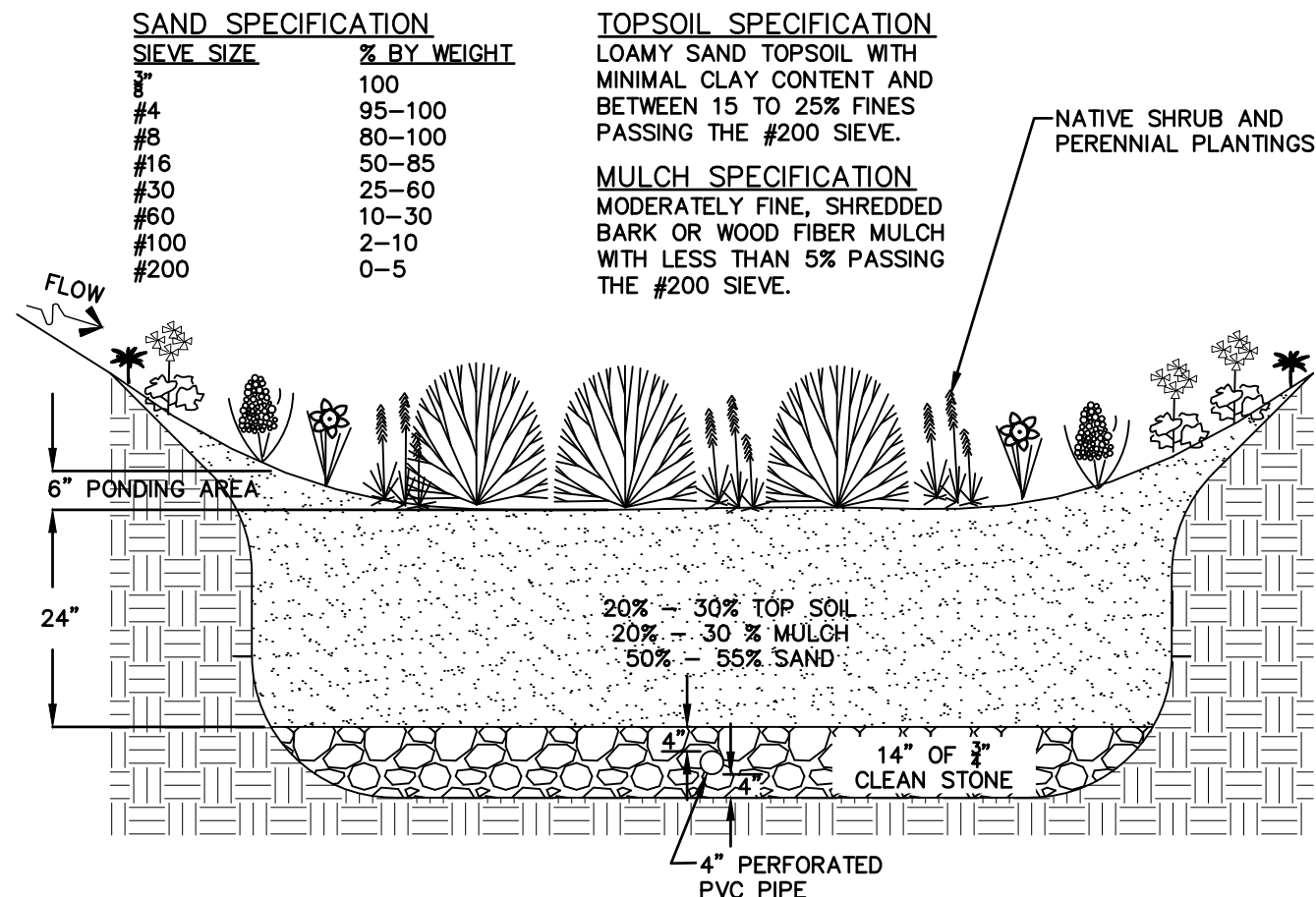
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- NOTES:
1. BASE SECTION SHALL BE MONOLITHIC WITH 48" INSIDE DIAMETER.
 2. ALL SECTIONS SHALL BE DESIGNED FOR H2O LOADING.
 3. CONCRETE SHALL BE COMPRESSIVE STRENGTH 4000 PSI, TYPE II CEMENT.
 4. FRAMES AND GRATES SHALL BE HEAVY DUTY AND DESIGNED FOR H2O LOADING
 5. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS SO AS TO BE WATERTIGHT.
 6. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 7. ALL CATCH BASIN FRAMES AND GRATES SHALL BE NHDOT CATCH BASIN TYPE ALTERNATE 1 OR NEENAH R-3570 OR APPROVED EQUAL (24"x24" TYPICAL).
 8. STANDARD CATCH BASIN FRAME AND GRATE(S) SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM, BUT NO MORE THAN 12"), OR PRECAST CONCRETE "DONUTS".

CATCH BASIN

NOT TO SCALE



DESIGN CONSIDERATIONS

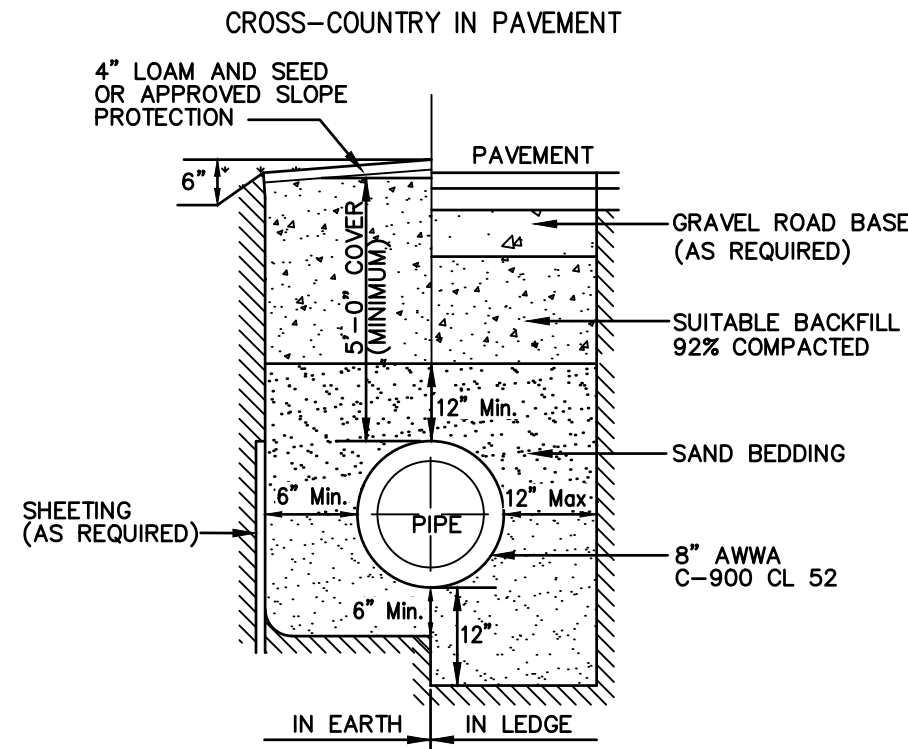
1. DO NOT PLACE BIORETENTION SYSTEMS INTO SERVICE UNTIL THE BMP HAS BEEN PLANTED AND ITS CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.
2. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUN-OFF, WATER FROM EXCAVATIONS) TO THE BIORETENTION AREA DURING ANY STAGE OF CONSTRUCTION.
3. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT OUTSIDE THE LIMITS OF THE INFILTRATION COMPONENTS OF THE SYSTEM.

MAINTENANCE REQUIREMENTS:

1. SYSTEMS SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND FOLLOWING ANY RAINFALL EVENT EXCEEDING 2.5 INCHES IN A 24 HOUR PERIOD, WITH MAINTENANCE OR REHABILITATION CONDUCTED AS WARRANTED BY SUCH INSPECTION.
2. PRETREATMENT MEASURES SHOULD BE INSPECTED AT LEAST TWICE ANNUALLY, AND CLEANED OF ACCUMULATED SEDIMENT AS WARRANTED BY INSPECTION, BUT NO LESS THAN ONCE ANNUALLY.
3. TRASH AND DEBRIS SHOULD BE REMOVED AT EACH INSPECTION.
4. AT LEAST ONCE ANNUALLY, SYSTEM SHOULD BE INSPECTED FOR DRAWDOWN TIME. IF BIORETENTION SYSTEM DOES NOT DRAIN WITHIN 72 HOURS FOLLOWING A RAINFALL EVENT, THEN A QUALIFIED PROFESSIONAL SHOULD ASSESS THE CONDITION OF THE FACILITY TO DETERMINE MEASURES REQUIRED TO RESTORE FILTRATION FUNCTION OR INFILTRATION FUNCTION (AS APPLICABLE), INCLUDING BUT NOT LIMITED TO REMOVAL OF ACCUMULATED SEDIMENTS OR RECONSTRUCTION OF THE FILTER MEDIA.
5. VEGETATION SHOULD BE INSPECTED AT LEAST ANNUALLY, AND MAINTAINED IN HEALTHY CONDITION, INCLUDING PRUNING, REMOVAL AND REPLACEMENT OF DEAD OR DISEASED VEGETATION, AND REMOVAL OF INVASIVE SPECIES.
6. CLAY LINER MATERIAL SHALL BE CLEAN SILTY-CLAY BORROW FREE OF ROOTS, ORGANIC MATTER, AND OTHER DELETERIOUS SUBSTANCES, AND SHALL CONTAIN NO ROCKS OR LUMPS OVER THREE INCHES (3") IN DIAMETER. THIS MATERIAL SHALL BE INSTALLED IN 6" LIFTS COMPACTED TO 92% OF ASTM D-1557, AND SHALL MEET THE FOLLOWING SPECIFICATIONS: 6" PASSING 100%, #4 SIEVE 95-100%, #40 SIEVE 60-90%, #100 SIEVE 40-60%, #200 SIEVE 25-45% (OF THE FRACTION PASSING THE #4 SIEVE). THE CLAY COMPONENT SHALL HAVE A PLASTICITY INDEX OF AT LEAST 8 AND A HYDRAULIC CONDUCTIVITY OF 10 TO THE -6 CM/SEC.
7. COMPACTION AND MATERIALS TESTING SERVICES SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER RETAINED BY THE OWNER.

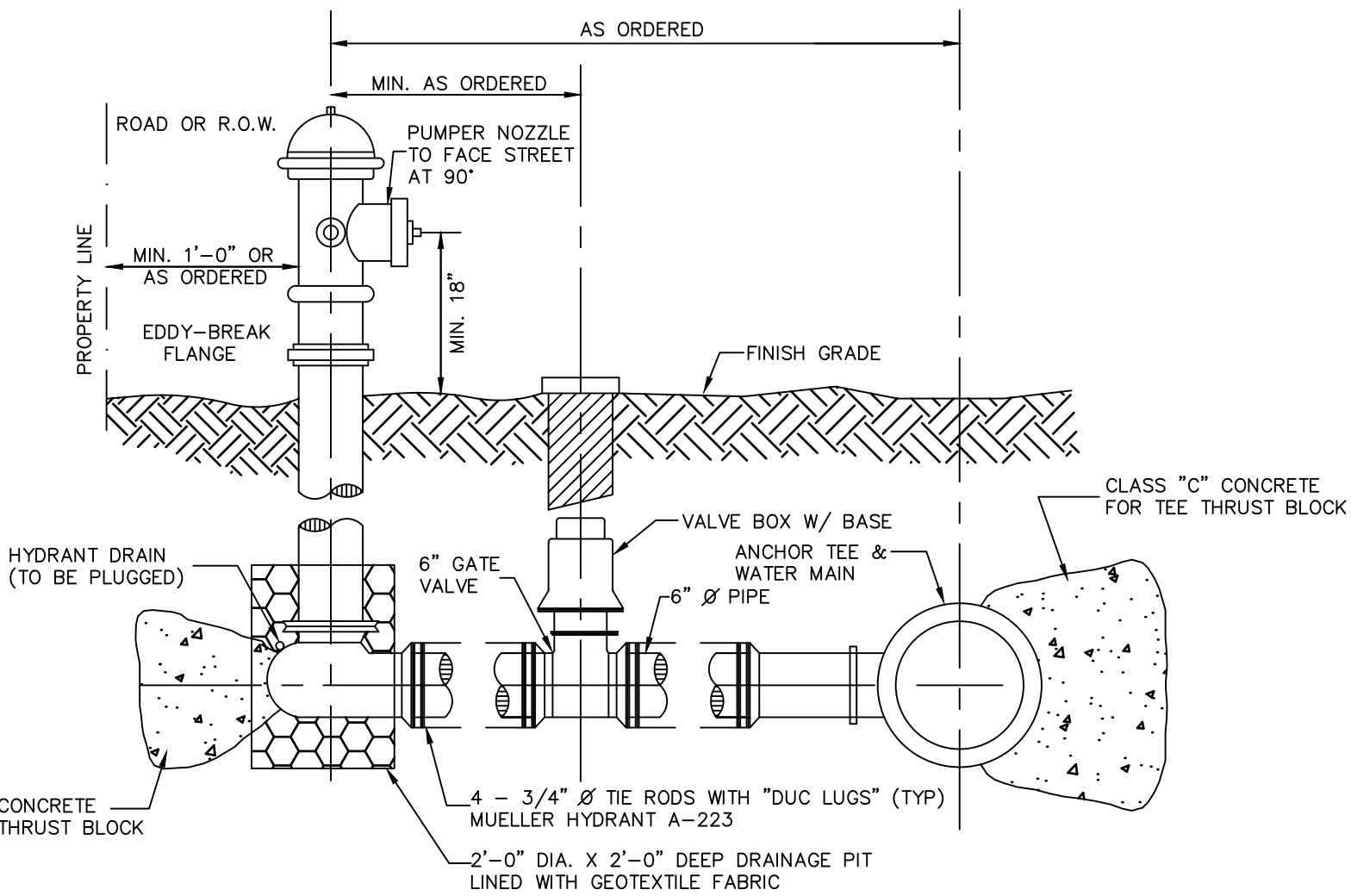
BIORETENTION SYSTEM (with clay bottom and pipe)

NOT TO SCALE



WATER SYTEM TRENCH

NOT TO SCALE



- NOTES:
1. ALL PIPE FITTINGS TO BE D.I. PRESSURE CLASS 350, THICKNESS CLASS 52.
 2. HYDRANT TO BE PAINTED RED WITH WHITE "REFLECTOR" PAINT ON BONNET.
 3. MECHANICAL JOINTS SHALL HAVE MEGALUG RETAINING GLANDS AS MADE BY EBBA OR APPROVED EQUAL.
 4. STEAMER NOZZLE TO BE "STORCH" TYPE.
 5. NATIONAL STANDARD THREAD.

HYDRANT INSTALLATION

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1	5/6/20	REVISED SITE PLAN AND EASEMENT	DJM
0	4/29/20	ISSUED FOR REVIEW	DJM
REV.	DATE	REVISION	BY

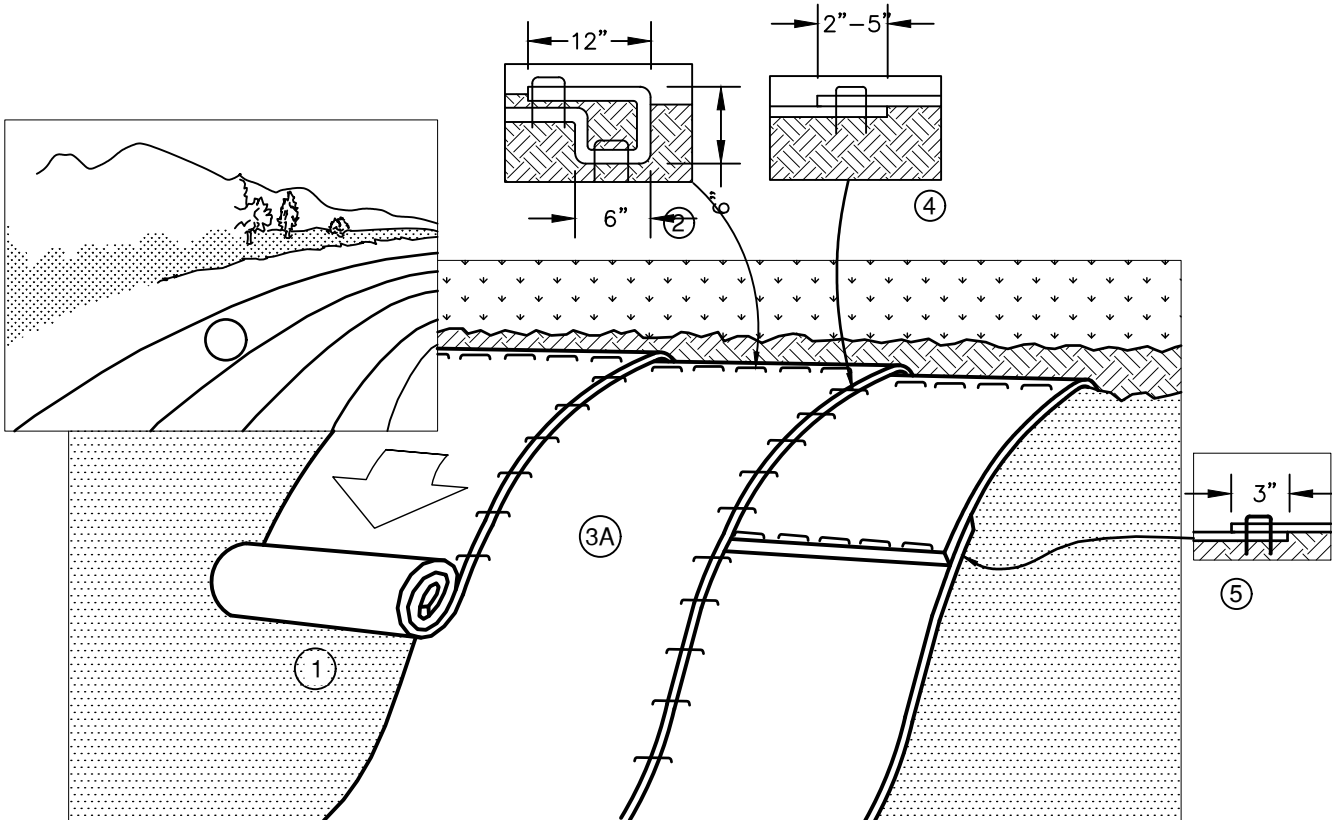
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Plan Name:	DETAIL SHEET
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
D2
SHEET 11 OF 12 JBE PROJECT NO. 19226

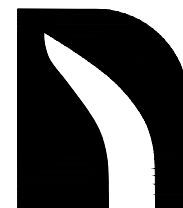
TEMPORARY EROSION CONTROL NOTES

1. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME. AT NO TIME SHALL AN AREA IN EXCESS OF 5 ACRES BE EXPOSED AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.
2. EROSION, SEDIMENT AND DETENTION MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS AND AT LOCATIONS AS REQUIRED, DIRECTED BY THE ENGINEER.
3. ALL DISTURBED AREAS (INCLUDING POND AREAS BELOW THE PROPOSED WATERLINE) SHALL BE RETURNED TO PROPOSED GRADES AND ELEVATIONS. DISTURBED AREAS SHALL BE LOAMED WITH A MINIMUM OF 6" OF SCREENED ORGANIC LOAM AND SEEDED WITH SEED MIXTURE 'C' AT A RATE NOT LESS THAN 1.10 POUNDS OF SEED PER 1,000 S.F. OF AREA (48 LBS. / ACRE).
4. SILT FENCES AND OTHER BARRIERS SHALL BE INSPECTED EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL OF 0.5" OR GREATER. ALL DAMAGED AREAS SHALL BE REPAIRED, AND SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED OF.
5. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE AREA DISTURBED BY THE REMOVAL SMOOTHED AND RE-VEGETATED.
6. AREAS MUST BE SEEDED AND MULCHED OR OTHERWISE PERMANENTLY STABILIZED WITHIN 3 DAYS OF FINAL GRADING, OR TEMPORARILY STABILIZED WITHIN 14 DAYS OF THE INITIAL DISTURBANCE OF SOIL. ALL AREAS SHALL BE STABILIZED WITHIN 45 DAYS OF INITIAL DISTURBANCE.
7. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING NORTH AMERICAN GREEN S75 EROSION CONTROL BLANKETS (OR AN EQUIVALENT APPROVED IN WRITING BY THE ENGINEER) ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
8. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85 PERCENT VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.
9. AFTER OCTOBER 15th, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.
10. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:
- a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
 - b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
 - c. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH STONE OR RIPRAP HAS BEEN INSTALLED; OR
 - d. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
11. FUGITIVE DUST CONTROL IS REQUIRED TO BE CONTROLLED IN ACCORDANCE WITH ENV-A 1000, AND THE PROJECT IS TO MEET THE REQUIREMENTS AND INTENT OF RSA 430:53 AND AGR 3800 RELATIVE TO INVASIVE SPECIES.



NOTES:

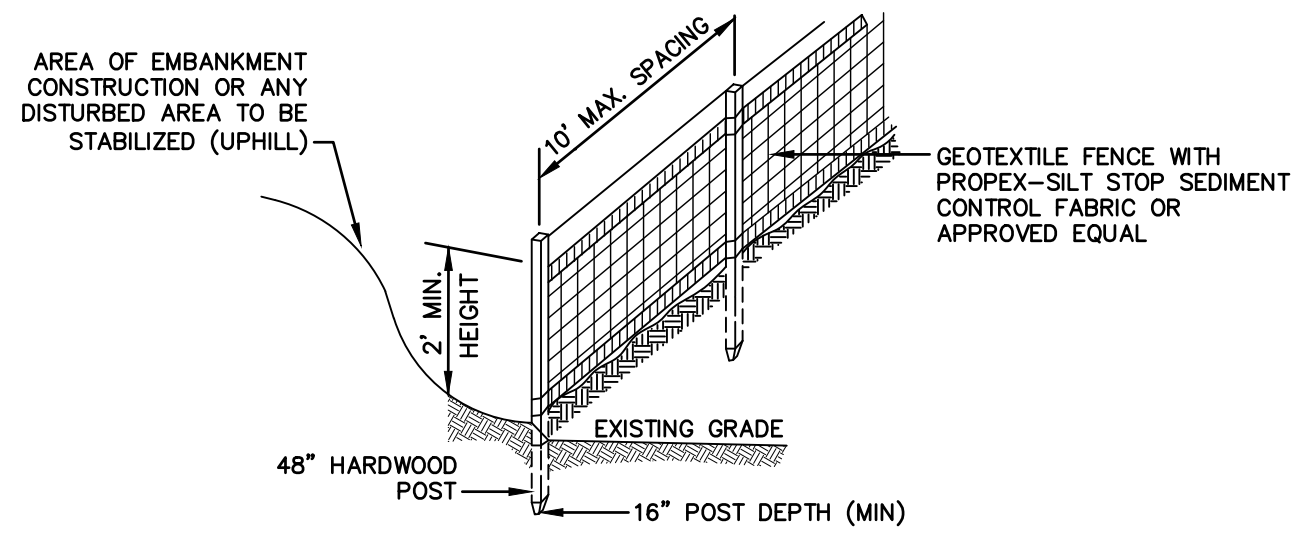
1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP BY 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP. DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH. NOTE: IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.



NORTH AMERICAN GREEN
14649 HIGHWAY 41 NORTH
EVANSVILLE, INDIANA 47725
1-800-772-2040

EROSION CONTROL BLANKET SLOPE INSTALLATION
(North American Green)

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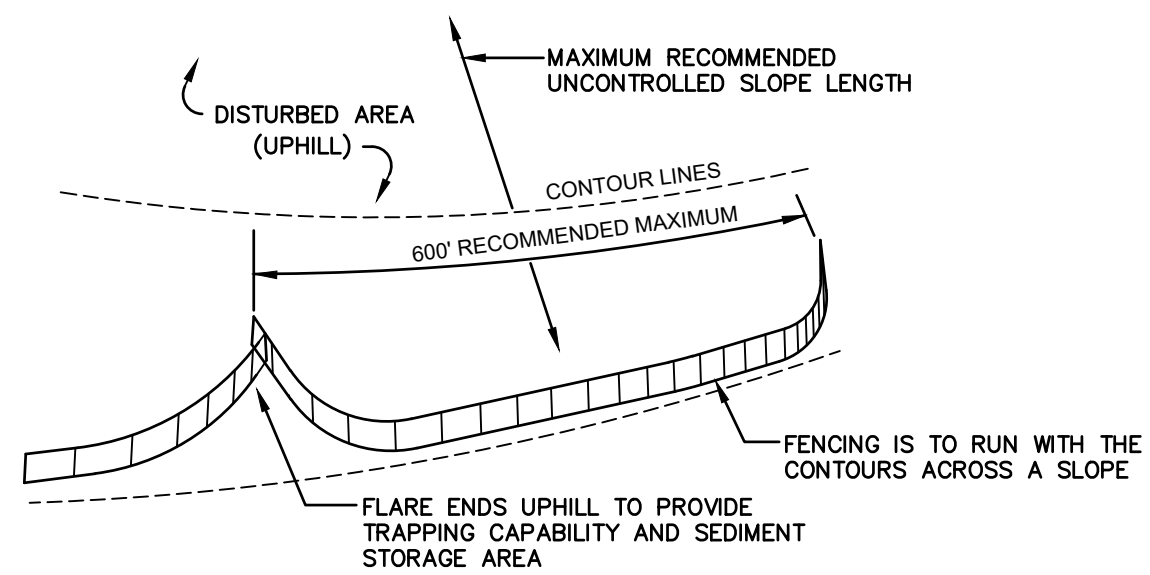


CONSTRUCTION SPECIFICATIONS:

1. WOVEN FABRIC FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. FILTER CLOTH SHALL BE FASTENED TO WOVEN WIRE EVERY 24" AT TOP, MID AND BOTTOM AND EMBEDDED IN THE GROUND A MINIMUM OF 8" AND THEN COVERED WITH SOIL.
2. THE FENCE POSTS SHALL BE A MINIMUM OF 48" LONG, SPACED A MAXIMUM 10' APART, AND DRIVEN A MINIMUM OF 16" INTO THE GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THE ENDS OF THE FABRIC SHALL BE OVERLAPPED 6", FOLDED AND STAPLED TO PREVENT SEDIMENT FROM BY-PASSING.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SEDIMENT REMOVED AND PROPERLY DISPOSED OF WHEN IT IS 6" DEEP OR VISIBLE 'BULGES' DEVELOP IN THE SILT FENCE.
5. PLACE THE ENDS OF THE SILT FENCE UP CONTOUR TO PROVIDE FOR SEDIMENT STORAGE.
6. SILT FENCE SHALL REMAIN IN PLACE FOR 24 MONTHS.

SILT FENCE

NOT TO SCALE



7. SILT FENCES SHALL BE REMOVED WHEN NO LONGER NEEDED AND THE SEDIMENT COLLECTED SHALL BE DISPOSED AS DIRECTED BY THE ENGINEER. THE AREA DISTURBED BY THE REMOVAL SHALL BE SMOOTHED AND REVEGETATED.

MAINTENANCE:

1. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE DONE IMMEDIATELY.
2. IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS THAT ARE REMOVED, OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED, SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

SEEDING SPECIFICATIONS

1. GRADING AND SHAPING
- A. SLOPES SHALL NOT BE STEEPER THAN 2:1 WITHOUT APPROPRIATE EROSION CONTROL MEASURES AS SPECIFIED ON THE PLANS (3:1 SLOPES OR FLATTER ARE PREFERRED).
 - B. WHERE MOWING WILL BE DONE, 3:1 SLOPES OR FLATTER ARE RECOMMENDED.
2. SEEDBED PREPARATION
- A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
 - B. STONES LARGER THAN 4 INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT 4 INCHES TO PREPARE A SEEDBED AND FERTILIZER AND LIME MIXED INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
3. ESTABLISHING A STAND
- A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. TYPES AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON AN EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
AGRICULTURAL LIMESTONE, 2 TONS PER ACRE OR 100 LBS. PER 1,000 SQ.FT.
NITROGEN(N), 50 LBS. PER ACRE OR 1.1 LBS. PER 1,000 SQ.FT.
PHOSPHATE(P2O5), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
POTASH(K2O), 100 LBS. PER ACRE OR 2.2 LBS. PER 1,000 SQ.FT.
(NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10.)
 - B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH .25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
 - C. REFER TO THE 'SEEDING GUIDE' AND 'SEEDING RATES' TABLES ON THIS SHEET FOR APPROPRIATE SEED MIXTURES AND RATES OF SEEDING. ALL LEGUMES (CROWNWETCH, BIRDSFOOT, TREFOIL AND FLATPEA) MUST BE INOCULATED WITH THEIR SPECIFIC INOCULANT PRIOR TO THEIR INTRODUCTION TO THE SITE.
 - D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20th OR FROM AUGUST 10th TO SEPTEMBER 1st.
4. MULCH
- A. HAY, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
 - B. MULCH WILL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE BEST MANAGEMENT PRACTICE FOR MULCHING. HAY OR STRAW MULCH SHALL BE PLACED AT A RATE OF 90 LBS PER 1000 S.F.
5. MAINTENANCE TO ESTABLISH A STAND
- A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
 - B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME FULLY ESTABLISHED.
 - C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, ANNUAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

USE	SEEDING MIXTURE 1/	DROUGHTY	WELL DRAINED	MODERATELY WELL DRAINED	POORLY DRAINED
STEEP CUTS AND FILLS, BORROW AND DISPOSAL AREAS	A	FAIR	GOOD	GOOD	FAIR
	B	POOR	GOOD	FAIR	FAIR
	C	POOR	GOOD	EXCELLENT	GOOD
	D	FAIR	EXCELLENT	EXCELLENT	POOR
WATERWAYS, EMERGENCY SPILLWAYS, AND OTHER CHANNELS WITH FLOWING WATER.	A	GOOD	GOOD	GOOD	FAIR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
LIGHTLY USED PARKING LOTS, ODD AREAS, UNUSED LANDS, AND LOW INTENSITY USE RECREATION SITES.	A	GOOD	GOOD	GOOD	FAIR
	B	GOOD	GOOD	FAIR	POOR
	C	GOOD	EXCELLENT	EXCELLENT	FAIR
PLAY AREAS AND ATHLETIC FIELDS. (TOPSOIL IS ESSENTIAL FOR GOOD TURF.)	E	FAIR	EXCELLENT	EXCELLENT	2/
	F	FAIR	EXCELLENT	EXCELLENT	2/
GRAVEL PIT, SEE NH-PM-24 IN APPENDIX FOR RECOMMENDATION REGARDING RECLAMATION OF SAND AND GRAVEL PITS.					
1/ REFER TO SEEDING MIXTURES AND RATES IN TABLE BELOW.					
2/ POORLY DRAINED SOILS ARE NOT DESIRABLE FOR USE AS PLAYING AREA AND ATHLETIC FIELDS.					

NOTE: TEMPORARY SEED MIX FOR STABILIZATION OF TURF SHALL BE WINTER RYE OR OATS AT A RATE OF 2.5 LBS. PER 1000 S.F. AND SHALL BE PLACED PRIOR TO OCTOBER 15th, IF PERMANENT SEEDING NOT YET COMPLETE.

SEEDING GUIDE

MIXTURE	POUNDS PER ACRE	POUNDS PER 1,000 Sq. Ft.
A. TALL FESCUE CREEPING RED FESCUE RED TOP TOTAL	20 20 2 42	0.45 0.45 0.05 0.95
B. TALL FESCUE CREEPING RED FESCUE CROWN VETCH OR FLAT PEA TOTAL	15 10 15 30 40 OR 55	0.35 0.25 0.35 0.75 0.95 OR 1.35
C. TALL FESCUE CREEPING RED FESCUE BIRDS FOOT TREFOIL TOTAL	20 20 8 48	0.45 0.45 0.20 1.10
D. TALL FESCUE FLAT PEA TOTAL	20 20 50	0.45 0.45 1.20
E. CREEPING RED FESCUE 1/ KENTUCKY BLUEGRASS 1/ TOTAL	50 50 100	1.15 1.15 2.30
F. TALL FESCUE 1	150	3.60

*

1/ FOR HEAVY USE ATHLETIC FIELDS CONSULT THE UNIVERSITY OF NEW HAMPSHIRE COOPERATIVE EXTENSION TURF SPECIALIST FOR CURRENT VARIETIES AND SEEDING RATES.

SEEDING RATES

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REV.	DATE	REVISION	BY

Designed and Produced in NH		
J/B Jones & Beach Engineers, Inc.		
85 Portsmouth Ave. PO Box 219 Stratham, NH 03885	Civil Engineering Services	603-772-4746 FAX: 603-772-0227 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	EROSION AND SEDIMENT CONTROL DETAILS
Project:	H. D. SMITH PARKING EXPANSION TAX MAP 1, LOTS 9 & 10, 8 & 2 MARIN WAY, STRATHAM, NH
Owner of Record:	S.T.P. LOT 3, LLC P.O. BOX 432, STRATHAM, NH 03885

DRAWING No.
E1
SHEET 12 OF 12 JBE PROJECT NO. 19226



85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

DRAINAGE ANALYSIS

SEDIMENT AND EROSION CONTROL PLAN

Prepared for:

**S.I.P Lot 3, LLC
P.O. Box 432
Tax Map 1, Lots 9&10
2 & 8 Marin Way
Stratham, NH 03885**

**May 18, 2020
JBE Project No. 19226**

EXECUTIVE SUMMARY

S.I.P Lot 3, LLC proposes to add 150 new parking spaces to the previously developed site at Stratham Industrial Park on Tax Map 1 Lots 9&10, all of which are to benefit future use of Lot 9. The most recent developments on this site in the mid-2000's were before current Alteration of Terrain Permit Rules were developed. Both Lots 9 and 10 include detention ponds, and Lot 9 includes a shallow vegetated treatment swale, but this is not designed per the currently accepted standards.

Therefore, we are improving the treatment capacity of the site by adding 24" biofilter to the bottom of the existing detention ponds to effectively convert them into bioretention cells. The new stormwater treatment BMP's are being designed to capture and hold the water quality volume (WQV) without relying on infiltration. Additionally, no existing pond storage volume will be lost.

The project site is located in Zone I – Industrial. Significant impervious coverage already exists and this project proposes a moderate increase, but greatly increases the amount of *treated* impervious coverage.

In total, an increase in impervious surface of approximately 40,000 square feet (0.91 Acres) is proposed. After the pond conversions, however, there will be 7.09 Acres of treated impervious surface, whereas only 4.22 Acres of impervious runoff was directed toward the treatment swale previously, and none was treated per the current AoT standards. The increase in impervious surface that is treated is therefore 2.87 Acres, much higher than the net increase of 0.91 Acres of impervious surface.

	Drainage Area (Acres)	Impervious Drainage Area (Acres)	Water Quality Volume (CF)	Proposed Storage Volume (CF)
Bioretention #1	4.96	3.40	12,009	27,768
Bioretention #2	2.27	1.83	6,391	14,133

The use of Best Management Practices per the NHDES Stormwater Manual have been applied to the design of this drainage system and will be observed during all stages of construction. All land disturbed during construction will be stabilized within thirty days of groundbreaking, and abutting property owners will suffer minimal adversity resultant to this development.

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Executive Summary

1.0	Existing Conditions Analysis	Page 1
2.0	Proposed Conditions Analysis	Page 1
3.0	Sediment and Erosion Control Best Management Practices	Pages 2-3
4.0	Conclusion	Page 4

Appendix I	Attachments and Calculations	
	BMP Worksheets	
	NRCS Web Soil Survey	
	Stormwater Operations and Maintenance Manual	

1.0 EXISTING CONDITIONS ANALYSIS

The subject parcels are developed and together include two large industrial buildings, paved area, and lawn coverage. Some wetlands are present on the subject parcel. The aforementioned detention ponds and treatment swale are used for stormwater management.

Classified through the use of a Natural Resources Conservation Service (NRCS) Web Soil Survey, the land of the site is composed of several different soil types, with Canton Fine Sandy Loam (42B) predominating the proposed area of disturbance.

2.0 PROPOSED CONDITIONS ANALYSIS

The proposed site development keeps both of the buildings and most of the existing paved area but adds 150 new parking spaces as well as several sidewalks and access driveways from Lot 10 to benefit Lot 9. Due to this increase in impervious area, the ponds will be modified to capture the water quality volume and improve treatment, and there will be no decrease in pond volume. Namely, the proposed filter course at the bottom of the existing detention ponds will convert them into effectively bioretention cells. This biofilter needs to be 24" thick as the site is located within an NHDES-designated Groundwater Protection Area. Due to the filter course, the pond bottoms will be raised, as will the pond berms. One pond berm is being raised 24", while another is being raised 12" but the pond itself is expanded.

4.0 TEMPORARY SEDIMENT & EROSION CONTROL BEST MANAGEMENT PRACTICES

The proposed site development is protected from erosion and the roadways and abutting properties are protected from sediment by the use of Best Management Practices as outlined in the NHDES Stormwater Manual. Any area disturbed by construction will be re-stabilized within 30 days and abutting properties and wetlands will suffer minimal adversity resultant of this development. All swales and drainage structures will be constructed and stabilized prior to having runoff directed to them.

4.0 Silt Fence / Construction Fence

The plan set demonstrates the location of silt fence for sediment control. Sheet E1 – Erosion and Sediment Control Details, has the specifications for installation and maintenance of the silt fence. In areas where the limits of construction need to be emphasized to operators, construction fence for added visibility will be installed. Orange construction fence will be VISI Perimeter Fence by Conwed Plastic Fencing, or equal. The four-foot fencing to be installed using six-foot posts at least two feet in the ground at a spacing of six to eight feet.

4.1 Stabilized Construction Entrance

A temporary gravel construction entrance provides an area where mud can be dislodged from tires before the vehicle leaves the construction site to reduce the amount of mud and sediment transported onto paved municipal and state roads. The stone size for the pad should be between 1 to 2 inch coarse aggregate, and the pad itself constructed to a minimum length of 50 feet for the full width of the access

road. The aggregate should be placed at least six inches thick. A plan view and profile are shown on Sheet E1.

4.2 Environmental Dust Control

Dust will be controlled on the site by the use of multiple Best Management Practices. Mulching and temporary seeding will be the first line of protection to be utilized where problems occur. If dust problems are not solved by these applications, the use of water can be applied. Dump trucks hauling material from the construction site will be covered with a tarpaulin.

4.3 Erosion Control Blanket (Jute Mat)

In newly graded areas where there exists the potential for extensive erosion prior to the establishment of an adequate vegetative cover, an erosion control blanket or jute mat may be required. A tightly woven fabric of fibers (preferably biodegradable) or a synthetic mesh, the blanket provides stability by trapping soil particles, shields loam and seed from rain and runoff, retains moisture for seed germination, deposits additional bio-mass after the blanket rots, and provides temporary (or permanent) reinforcement to turf on slopes, in channels, and along shorelines.

4.4 Temporary Erosion Control Measures

1. The smallest practical area of land shall be exposed at any one time. At no time shall an area in excess of that required for construction be exposed.
2. Erosion, sediment and detention measures shall be installed as shown on the plans and at locations as required, or directed by the engineer.
3. All disturbed areas shall be returned to proposed grades and elevations.
4. Silt fences and other barriers shall be inspected every seven days and within 24 hours of a rainfall of 0.5" or greater. All damaged areas shall be repaired, and sediment deposits shall periodically be removed and properly disposed of.
5. After all disturbed areas have been stabilized, the temporary erosion control measures are to be removed and the area disturbed by the removal smoothed.
6. All proposed vegetated areas not stabilized by or are disturbed after October 15th must be protected with North American Green S75 erosion control blankets (or an equivalent approved in writing by the engineer) and seeded with winter rye or oats at a rate of 2.50 pounds per 1,000 square feet of area (108.90 lbs. per acre). Placement of blankets shall not occur over accumulated snow.
7. An area shall be considered stable if one of the following has occurred:
 - a. Base course gravels have been installed in areas to be paved;

- b. A minimum of 85% vegetated growth has been established;
 - c. A minimum of 3" or non-erosive material such as stone or riprap has been installed; or
 - d. Erosion control blankets have been properly installed.
8. After October 15th where work has stopped for the season, incomplete roadway or parking surfaces shall be protected with a minimum of 3" of crushed gravel meeting NHDOT Item 304.3.

4.5 Inspection and Maintenance Schedule

4.10.1 Temporary Best Management Practices

Silt Fencing

During the construction process, all silt fencing will be inspected during and after storm events to ensure that the fence still has integrity and is not allowing sediment to pass. Any section of fence that has failed or is failing is to be replaced immediately, overlapping adjacent fence sections by at least one foot. If the problem persists, measures such as additional fencing (i.e. double) or the addition of hay-bales on the project side of the fence line should be considered. Sediment is to be removed from behind the fencing if found to be deeper than six inches and disposed of properly.

5.0 CONCLUSION

This proposed site development will have minimal adverse effect on abutting infrastructures or properties by way of stormwater runoff or siltation. There will be a significant improvement in stormwater treatment on site due to the addition of a 24" biofilter beneath the detention ponds. Appropriate steps will be taken to eliminate erosion and sedimentation; these will be accomplished through the use of a stabilized construction entrance, silt fence, and site grading. The use of Best Management Practices developed by the State of New Hampshire have been utilized in the design of this system and their application will be enforced throughout the construction process.

An Alteration of Terrain permit (RSA 485:A-17) is not required for this site plan due to the area of disturbance being less than 100,000 square-feet.

Respectfully Submitted,
JONES & BEACH ENGINEERS, INC.

Daniel Meditz, EIT
Project Engineer

APPENDIX I

BMP Worksheets

NRCS Web Soil Survey

Stormwater Management Operations and Maintenance Manual



FILTRATION PRACTICE DESIGN CRITERIA (Env-Wq 1508.07)

Type/Node Name: Bioretention Cell (Lot 9)

Enter the type of filtration practice (e.g., bioretention system) and the node name in the drainage analysis, if applicable

		Have you reviewed the restrictions on unlined systems outlined in Env-Wq 1508.07(a)?	
4.96	ac	A = Area draining to the practice	
3.40	ac	A _I = Impervious area draining to the practice	
0.68	decimal	I = percent impervious area draining to the practice, in decimal form	
0.67	unitless	R _v = Runoff coefficient = 0.05 + (0.9 x I)	
3.31	ac-in	WQV = 1" x R _v x A	
12,009	cf	WQV conversion (ac-in x 43,560 sf/ac x 1ft/12")	
3,002	cf	25% x WQV (check calc for sediment forebay volume)	
9,007	cf	75% x WQV (check calc for surface sand filter volume)	
		Method of Pretreatment? (not required for clean or roof runoff)	
	cf	V _{SED} = sediment forebay volume, if used for pretreatment	← ≥ 25%WQV
	sf	A _{SA} = surface area of the practice	
	iph	K _{sat} _{DESIGN} = design infiltration rate ¹	
	Yes/No	If K _{sat} (prior to factor of safety) is < 0.50 iph, has an underdrain been provided?	
-	hours	T _{DRAIN} = drain time = V / (A _{SA} * I _{DESIGN})	← ≤ 72-hrs
	feet	E _{FC} = elevation of the bottom of the filter course material ²	
	feet	E _{UD} = invert elevation of the underdrain (UD), if applicable	
	feet	E _{SHWT} = elevation of SHWT (if none found, enter the lowest elevation of the test pit)	
	feet	E _{ROCK} = elevation of bedrock (if none found, enter the lowest elevation of the test pit)	
-	feet	D _{FC to UD} = depth to UD from the bottom of the filter course	← ≥ 1'
-	feet	D _{FC to ROCK} = depth to bedrock from the bottom of the filter course	← ≥ 1'
-	feet	D _{FC to SHWT} = depth to SHWT from the bottom of the filter course	← ≥ 1'
	ft	Peak elevation of the 50-year storm event (infiltration can be used in analysis)	
	ft	Elevation of the top of the practice	
-		50 peak elevation ≤ Elevation of the top of the practice	← yes

If a surface sand filter or underground sand filter is proposed:

YES	ac	Drainage Area check.	← < 10 ac
	cf	V = volume of storage ³ (attach a stage-storage table)	← ≥ 75%WQV
	inches	D _{FC} = filter course thickness	← 18", or 24" if within GPA
Sheet		Note what sheet in the plan set contains the filter course specification	
Yes/No		Access grate provided?	← yes

If a bioretention area is proposed:

YES	ac	Drainage Area no larger than 5 ac?	← yes
27,768	cf	V = volume of storage ³ (attach a stage-storage table)	← ≥ WQV
24.0	inches	D _{FC} = filter course thickness	← 18", or 24" if within GPA
Sheet		Note what sheet in the plan set contains the filter course specification	
3.0	:1	Pond side slopes	← ≥3:1
Sheet		Note what sheet in the plan set contains the planting plans and surface cover	

If porous pavement is proposed:

	Type of pavement proposed (concrete? Asphalt? Pavers? Etc)	
acres	A_{SA} = surface area of the pervious pavement	
:1	ratio of the contributing area to the pervious surface area	← ≤ 5:1
inches	D_{FC} = filter course thickness	← 12", or 18" if within GPA
Sheet	Note what sheet in the plan set contains the filter course spec.	← 304.1 sand

1. Rate of the limiting layer (either the filter course or the underlying soil). K_{sat_design} includes factor of safety. See Env-Wq 1504.14 for guidance on determining the infiltration rate.
2. See lines 34, 40 and 48 for required depths of filter media.
3. Volume without depending on infiltration. The volume includes the storage above the filter (but below the invert of the outlet structure, if any), the filter media voids, and the pretreatment area. The storage above the filter media shall not include the volume above the outlet structure, if any.

Designer's Notes:

[illegible]



FILTRATION PRACTICE DESIGN CRITERIA (Env-Wq 1508.07)

Type/Node Name: Bioretention Cell (Lot 10)

Enter the type of filtration practice (e.g., bioretention system) and the node name in the drainage analysis, if applicable

		Have you reviewed the restrictions on unlined systems outlined in Env-Wq 1508.07(a)?	
2.27	ac	A = Area draining to the practice	
1.83	ac	A _I = Impervious area draining to the practice	
0.81	decimal	I = percent impervious area draining to the practice, in decimal form	
0.78	unitless	R _v = Runoff coefficient = 0.05 + (0.9 x I)	
1.76	ac-in	WQV = 1" x R _v x A	
6,391	cf	WQV conversion (ac-in x 43,560 sf/ac x 1ft/12")	
1,598	cf	25% x WQV (check calc for sediment forebay volume)	
4,793	cf	75% x WQV (check calc for surface sand filter volume)	
		Method of Pretreatment? (not required for clean or roof runoff)	
	cf	V _{SED} = sediment forebay volume, if used for pretreatment	← ≥ 25%WQV
	sf	A _{SA} = surface area of the practice	
	iph	K _{sat} _{DESIGN} = design infiltration rate ¹	
	Yes/No	If K _{sat} (prior to factor of safety) is < 0.50 iph, has an underdrain been provided?	
-	hours	T _{DRAIN} = drain time = V / (A _{SA} * I _{DESIGN})	← ≤ 72-hrs
	feet	E _{FC} = elevation of the bottom of the filter course material ²	
	feet	E _{UD} = invert elevation of the underdrain (UD), if applicable	
	feet	E _{SHWT} = elevation of SHWT (if none found, enter the lowest elevation of the test pit)	
	feet	E _{ROCK} = elevation of bedrock (if none found, enter the lowest elevation of the test pit)	
-	feet	D _{FC to UD} = depth to UD from the bottom of the filter course	← ≥ 1'
-	feet	D _{FC to ROCK} = depth to bedrock from the bottom of the filter course	← ≥ 1'
-	feet	D _{FC to SHWT} = depth to SHWT from the bottom of the filter course	← ≥ 1'
	ft	Peak elevation of the 50-year storm event (infiltration can be used in analysis)	
	ft	Elevation of the top of the practice	
-		50 peak elevation ≤ Elevation of the top of the practice	← yes

If a surface sand filter or underground sand filter is proposed:

YES	ac	Drainage Area check.	← < 10 ac
	cf	V = volume of storage ³ (attach a stage-storage table)	← ≥ 75%WQV
	inches	D _{FC} = filter course thickness	← 18", or 24" if within GPA
Sheet		Note what sheet in the plan set contains the filter course specification	
Yes/No		Access grate provided?	← yes

If a bioretention area is proposed:

YES	ac	Drainage Area no larger than 5 ac?	← yes
14,133	cf	V = volume of storage ³ (attach a stage-storage table)	← ≥ WQV
24.0	inches	D _{FC} = filter course thickness	← 18", or 24" if within GPA
Sheet		Note what sheet in the plan set contains the filter course specification	
3.0	:1	Pond side slopes	← ≥3:1
Sheet		Note what sheet in the plan set contains the planting plans and surface cover	

If porous pavement is proposed:

	Type of pavement proposed (concrete? Asphalt? Pavers? Etc)	
acres	A_{SA} = surface area of the pervious pavement	
:1	ratio of the contributing area to the pervious surface area	← ≤ 5:1
inches	D_{FC} = filter course thickness	← 12", or 18" if within GPA
Sheet	Note what sheet in the plan set contains the filter course spec.	← 304.1 sand

1. Rate of the limiting layer (either the filter course or the underlying soil). K_{sat_design} includes factor of safety. See Env-Wq 1504.14 for guidance on determining the infiltration rate.
2. See lines 34, 40 and 48 for required depths of filter media.
3. Volume without depending on infiltration. The volume includes the storage above the filter (but below the invert of the outlet structure, if any), the filter media voids, and the pretreatment area. The storage above the filter media shall not include the volume above the outlet structure, if any.

Designer's Notes:

[illegible]

Soil Map—Rockingham County, New Hampshire



**Natural Resources
Conservation Service**

Web Soil Survey
National Cooperative Soil Survey

4/28/2020
Page 1 of 3

MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Rockingham County, New Hampshire

Survey Area Data: Version 21, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Dec 31, 2009—Jun 14, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
32A	Boxford silt loam, 0 to 3 percent slopes	8.6	10.3%
33A	Scitico silt loam, 0 to 5 percent slopes	29.2	35.0%
42B	Canton fine sandy loam, 3 to 8 percent slopes	23.4	28.0%
129B	Woodbridge fine sandy loam, 0 to 8 percent slopes, very stony	0.9	1.1%
140B	Chatfield-Hollis-Canton complex, 0 to 8 percent slopes, rocky	17.4	20.8%
495	Natchaug mucky peat, 0 to 2 percent slopes	4.0	4.8%
Totals for Area of Interest		83.5	100.0%



85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

STORMWATER MANAGEMENT OPERATION AND MAINTENANCE MANUAL

Prepared for:

**S.I.P Lot 3, LLC
Map 1, Lots 9&10
2 & 8 Marin Way
Stratham, NH 03885**

**May 18, 2020
JBE Project No. 19226**

Inspection and Maintenance of Facilities and Property

A. Maintenance of Common Facilities or Property

1. S.I.P Lot 3, LLC, future owners and assigns are responsible to perform the maintenance obligations or hire a Professional Engineer to review the site on an annual basis for maintenance and certification of the stormwater system. The owner shall keep receipts and records of all maintenance companies hired throughout the year to submit along with the following form.

B. General Inspection and Maintenance Requirements

1. Permanent stormwater and sediment and erosion control facilities to be maintained on the site include, but are not limited to, the following:
 - a. Catch basins
 - b. Culverts
 - c. Vegetation and landscaping
 - d. Parking lots and roadways
 - e. Riprap inlet and outlet protection aprons
 - f. Rain Gardens (Bio-retention systems)
 - g. Roof drains
2. Maintenance of permanent measures shall follow the following schedule:
 - a. Normal winter roadway and parking lot maintenance including plowing and snow removal.
 - b. Road and parking lot sweeping at the end of every winter, preferably at the start of the spring rain season.
 - c. **Inspection** of culvert inlets and outlets at least **once per month** during the rainy season (March to November). Any debris is to be removed and disposed of properly by owner or contractor.
 - d. **Annual inspection** of the site for erosion, destabilization, settling, and sloughing. Any needed repairs are to be conducted immediately.
 - e. **Annual inspection** of site's vegetation and landscaping. Any areas that are bare shall be reseeded and mulched with hay or, if the case is extreme, loamed and seeded or sodded to ensure adequate vegetative cover. Landscape specimens shall be replaced in kind, if they are found to be dead or dying.

- f. **Annual inspection** of catch basins and drain manholes to determine if they need to be cleaned. Catch basins are to be cleaned if the depth of deposits is greater than one-half the depth from the basin bottom to the invert of the lowest pipe or opening into or out of the basin. If a catch basin significantly exceeds the one-half depth standard during the inspection, then it should be cleaned more frequently. If woody debris or trash accumulates in a catch basin, then it should be cleaned on a weekly basis. Manholes should be cleaned of any material upon inspection. Catch basins and manholes can be cleaned either manually or by specially designed equipment including, but not limited to, bucket loaders and vacuum pumps. Before any materials can be disposed, it is necessary to perform a detailed chemical analysis to determine if the materials meet the EPA criteria for hazardous waste. This will help determine how the materials should be stored, treated, and disposed. Grease hoods are to be wiped clean and the rags disposed of properly. Debris obscuring the grate inlet should also be removed.
- g. Permanent stone check dams should be **inspected annually** in order to ensure that they are in good condition. Any sediment accumulated behind them shall be removed if it is deeper than six inches.
- h. Rock riprap should be **inspected annually** in order to ensure that it has not been displaced, undermined, or otherwise damaged. Displaced rock should be replaced, or additional rock added in order to maintain the structure(s) in their undamaged state. Woody vegetation should not be allowed to become established in riprap areas, and/or any debris removed from the void spaces between the rocks. If the riprap is adjacent to a stream or other waterbody, the water should be kept clear of obstructions, debris, and sediment deposits.
- i. Raingarden - Bioretention Cells:
- Visually inspect monthly and repair erosion. Use small stones to stabilize erosion along drainage paths.
 - Check the pH once a year if plantings are not surviving. Apply an alkaline product, such as limestone, if needed.
 - Re-mulch any void areas by hand as needed.
 - Every 6 months, in the spring and fall, add a fresh mulch layer.
 - Once every 2 to 3 years, in the spring, remove old mulch layer before applying new one.
 - Immediately after the completion of cell construction, water plant material for 14 consecutive days unless there is sufficient natural rainfall.
 - When trees have taken root, or at least by 6 months, remove stakes and wires.
 - Once a month (more frequently in the summer), residents are encouraged to visually inspect vegetation for disease or pest problems and treat as required.
 - Twice a year, from March 15th to April 30th and October 1st to November 30th, remove and replace all dead and diseased vegetation considered beyond treatment.
 - During times of extended drought, look for physical features of stress (unrevived wilting, yellow, spotted or brown leaves, loss of leaves, etc.). Water in the early morning as needed.

- Weed regularly, if needed.
- Prune excess growth annually or more often, if desired. Trimmed materials may be recycled back in with replenished mulch or land filled if there is a concern of heavy metals accumulation.
- After rainstorms, inspect the cell and make sure that drainage paths are clear and that ponding water dissipates over 4-6 hours. (Water may pond for longer times during the winter and early spring.)
- **KEEP IN MIND, THE BIORETENTION CELL IS NOT A POND. IT SHOULD NOT PROVIDE A BREEDING GROUND FOR MOSQUITOES. MOSQUITOES NEED AT LEAST FOUR (4) DAYS OF STANDING WATER TO DEVELOP AS LARVA.**

j. Roof Drains:

Roof drains should be **inspected annually**, preferably in the fall after leaf drop. Drains should be kept clear, and any debris that may clog a drain such as tennis balls, baseballs, beverage cans, etc. should be removed during each inspection. Every drain should have a clean "leaf" grate present to prevent clogging of the drainpipes. A roof inspection in the late fall should also include the removal of leaves. Outfalls should be inspected to assure a clear drainage path.

WHAT TO LOOK FOR:

Although improper roof drainage can best be observed immediately after a rain storm, most impacted drainage conditions will leave "tell-tale" indications even after standing water has evaporated:

1. Accumulated Debris. Debris frequently accumulates in ponding areas. Because water eventually evaporates from impacted areas, a concentric pattern of debris or dirt is a good indication of a ponding condition.
2. Visible Sagging or Deflection.
3. Discoloration of Curbs and Walls. The discoloration may be due to a build-up of snow or ice, or it may be an indication that water may "back up" during very severe rain storms.

See attached sample forms as a guideline.

Any inquiries in regards to the design, function, and/or maintenance of any one of the above mentioned facilities or tasks shall be directed to the project engineer:

Jones & Beach Engineers, Inc.
85 Portsmouth Avenue
P.O. Box 219
Stratham, NH 03885

T#: (603) 772-4746
F#: (603) 772-0227

Commitment to maintenance requirements

I agree to complete and/or observe all of the required maintenance practices and their respective schedules as outlined above.

Signature

Print Name

Title

Date

Annual Operations and Maintenance Report

S.I.P Lot 3, LLC, future owners and assigns are responsible to perform the maintenance obligations or hire a Professional Engineer to review the site on an annual basis for maintenance and certification of the stormwater system. The owner shall keep receipts and records of all maintenance companies hired throughout the year to submit along with the following form.

Construction Activity	Date of Inspection	Who Inspected	Findings of Inspector
Catch basins			
Culverts			
Vegetation and landscaping			
Parking lots and roadways			
Rain Garden Bioretention Systems			
Roof Drains			

Regular Inspection and Maintenance Guidance for Bioretention Systems / Tree Filters

Maintenance of bioretention systems and tree filters can typically be performed as part of standard landscaping. Regular inspection and maintenance is critical to the effective operation of bioretention systems and tree filters to insure they remain clear of leaves and debris and free draining. This page provides guidance on maintenance activities that are typically required for these systems, along with the suggested frequency for each activity. Individual systems may have more, or less, frequent maintenance needs, depending on a variety of factors including the occurrence of large storm events, overly wet or dry (I.E., drought), regional hydrologic conditions, and the upstream land use.

ACTIVITIES

The most common maintenance activity is the removal of leaves from the system and bypass structure. Visual inspections are routine for system maintenance. This includes looking for standing water, accumulated leaves, holes in the soil media, signs of plant distress, and debris and sediment accumulation in the system. Mulch and/or vegetation coverage is integral to the performance of the system, including infiltration rate and nutrient uptake. Vegetation care is important to system productivity and health.

ACTIVITY	FREQUENCY
A record should be kept of the time to drain for the system completely after a storm event. The system should drain completely within 72 hours.	After every major storm in the first few months, then biannually.
Check to ensure the filter surface remains well draining after storm event. Remedy: If filter bed is clogged, draining poorly, or standing water covers more than 15% of the surface 48 hours after a precipitation event, then remove top few inches of discolored material. Till or rake remaining material as needed.	
Check inlets and outlets for leaves and debris. Remedy: Rake in and around the system to clear it of debris. Also, clear the inlet and overflow if obstructed.	Quarterly initially, biannually, frequency adjusted as needed after 3 inspections
Check for animal burrows and short circuiting in the system Remedy: Soil erosion from short circuiting or animal borroughs should be repaired when they occur. The holes should be filled and lightly compacted.	
Check to insure the filter bed does not contain more than 2 inches accumulated material Remedy: Remove sediment as necessary. If 2 inches or more of filter bed has been removed, replace media with either mulch or a (50% sand, 20% woodchips, 20% compost, 10% soil) mixture.	
During extended periods without rainfall, inspect plants for signs of distress. Remedy: Plants should be watered until established (typical only for first few months) or as needed thereafter.	
Inspect inlets and outlets to ensure good condition and no evidence of deterioration. Check to see if high-flow bypass is functioning. Remedy: Repair or replace any damaged structural parts, inlets, outlets, sidewalls.	Annually
Check for robust vegetation coverage throughout the system. Remedy: If at least 50% vegetation coverage is not established after 2 years, reinforcement planting should be performed.	
Check for dead or dying plants, and general long term plant health. Remedy: This vegetation should be cut and removed from the system. If woody vegetation is present, care should be taken to remove dead or decaying plant Material. Separation of Herbaceous vegetation rootstock should occur when overcrowding is observed.	As needed



CHECKLIST FOR INSPECTION OF BIORETENTION SYSTEM / TREE FILTERS

Location:

Inspector:

Date:

Time:

Site Conditions:

Date Since Last Rain Event:

Inspection Items	Satisfactory (S) or Unsatisfactory (U)	Comments/Corrective Action
1. Initial Inspection After Planting and Mulching		
Plants are stable, roots not exposed	S U	
Surface is at design level, typically 4" below overpass	S U	
Overflow bypass / inlet (if available) is functional	S U	
2. Debris Cleanup (2 times a year minimum, Spring & Fall)		
Litter, leaves, and dead vegetation removed from the system	S U	
Prune perennial vegetation	S U	
3. Standing Water (1 time a year, After large storm events)		
No evidence of standing water after 72 hours	S U	
4. Short Circuiting & Erosion (1 time a year, After large storm events)		
No evidence of animal burrows or other holes	S U	
No evidence of erosion	S U	
5. Drought Conditions (As needed)		
Water plants as needed	S U	
Dead or dying plants		
6. Overflow Bypass / Inlet Inspection (1 time a year, After large storm events)		
No evidence of blockage or accumulated leaves	S U	
Good condition, no need for repair	S U	
7. Vegetation Coverage (once a year)		
50% coverage established throughout system by first year	S U	
Robust coverage by year 2 or later	S U	
8. Mulch Depth (if applicable)(once every 2 years)		
Mulch at original design depth after tilling or replacement	S U	
9. Vegetation Health (once every 3 years)		
Dead or decaying plants removed from the system	S U	
10. Tree Pruning (once every 3 years)		
Prune dead, diseased, or crossing branches	S U	
Corrective Action Needed		Due Date
1.		
2.		
3.		

