



TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board's Office/ Administration/ Assessing 603-772-7391

Code Enforcement/ Building Inspections/ Planning 603-772-7391

PLANNING BOARD MEETING AGENDA

February 21, 2024, 7:00 pm

Stratham Municipal Center

10 Bunker Hill Avenue, Stratham NH

1. Call to Order/Roll Call

2. Review and Approval of Minutes:

- a. January 17, 2024 Planning Board Minutes

3. Public Meeting (New Business):

- a. Lindt & Sprungli USA, Inc. (Applicant & Owner) - Request for approval of an Expedited Site Plan Review Application to construct a proposed 600-foot addition to an existing manufacturing and office use at One Fine Chocolate Place, Tax Map 3, Lot 1, Zoned Industrial. Applicant is represented by The H.L Turner Group, 27 Locke Road, Concord, NH.
- b. Other Business:
 1. Stratham RPC TAC Member Recommendation
 2. Legislative Update
 3. Draft Open Space & Connectivity Plan Update
 4. Staff Request for Third Party Engineering Review: 189 Bunker Hill Avenue (Tax Map 6, Lot 167), six-lot subdivision application

4. Adjournment

No new agenda items will be heard after 10:00 pm subject to the discretion of the Planning Board Chair. Full text of the agenda and related information can be found on file with the Stratham Planning Department and posted on the Town website at <https://www.strathamnh.gov/planning-board>. All interested persons may be heard. Persons needing special accommodations and /or those interested in viewing the application materials should contact the Stratham Planning Department at (603) 772-7391 ext. 180.



Stratham Planning Board Meeting Minutes
January 17, 2024
Stratham Municipal Center
Time: 7:00 pm

Members Present: Thomas House, Chair
Mike Houghton, Select Board's Representative
David Canada, Vice Chair
Chris Zaremba, Regular Member
John Kunowski, Regular Member
Nate Allison, Alternate Member

Members Absent: None

Staff Present: Mark Connors, Director of Planning and Community Development

1. Call to Order/Roll Call

Mr. House called the meeting to order at 6:59 pm and took roll call.

2. Approval of Minutes

a. January 3, 2024

Mr. Zaremba made a motion to approve the January 3, 2024 meeting minutes. Mr. Kunowski seconded the motion. All voted in favor and the motion passed.

3. Public Hearing:

a. The Planning Board held a public hearing on the proposed zoning amendments outlined below.

Mr. House introduced that this is the second public hearing for articles for the March ballot. He stated that the Board has reviewed the draft language a number of times and no members of the public are present at the meeting. He introduced each of the amendments and asked Mr. Connors to describe any changes.

Mr. Canada made a motion to close the public hearing from January 3, 2024. Mr. Kunowski seconded the motion. All voted in favor and the motion passed.

Mr. Canada made a motion to open the public hearing. Mr. Zaremba seconded the motion. All voted in favor and the motion passed.

Amendment #2: To amend the Zoning Ordinance, Section II Definitions, and Section III, Table 3.6 Table of Uses, and Footnotes to Table 3.6 to include new definitions and property uses that are not

45 defined under the Ordinance. This is a housekeeping amendment to better define terms, building
46 uses and associated requirements, in the Zoning Ordinance.

47
48 Mr. Connors stated there are no changes to Article #1 from the last public hearing.

49
50 **Mr. Zaremba made a motion to advance Amendment #2 to town ballot. Mr. Kunowski**
51 **seconded the motion. All voted in favor and the motion passed.**

52
53 **Mr. Zaremba made a motion that the Planning Board support Amendment #2. Mr. Kunowski**
54 **seconded the motion. All voted in favor and the motion passed.**

55
56 Amendment #3: To amend the Building Ordinance, Article III *Permits*, to clarify the circumstances
57 in which the Building Inspector may require that a plan prepared and stamped by a licensed land
58 surveyor or certified wetland scientist be submitted with a building permit application? This
59 amendment provides the Building Inspector discretion to require a plan prepared and stamped by
60 a certified professional prior to the issuance of a building permit where there is a reasonable basis
61 for questioning whether an application meets the requirements of the Zoning and Building
62 Ordinances and/or the State Building and Fire Codes.

63
64 **Mr. Canada made a motion to advance Amendment #3 to town ballot. Mr. Houghton**
65 **seconded the motion. All voted in favor and the motion passed.**

66
67 **Mr. Canada made a motion that the Planning Board support Amendment #3. Mr. Zaremba**
68 **seconded the motion. All voted in favor and the motion passed.**

69
70 Amendment #4: To amend the Zoning Ordinance, Section V *Supplementary Regulations*, Sub-
71 section 5.12 *Home Occupation* to clarify the requirements associated with home occupations? This
72 amendment would limit the aggregate size of home occupations and clarify requirements
73 associated with inspections and renewals of home occupations.

74
75 Mr. Connors stated there were no changes to Article #3 or Article #4 from the last public hearing.

76
77 **Mr. Houghton made a motion to advance Amendment #4 to town ballot. Mr. Zaremba**
78 **seconded the motion. All voted in favor and the motion passed.**

79
80 **Mr. Houghton made a motion that the Planning Board support Amendment #4. Mr. Zaremba**
81 **seconded the motion. All voted in favor and the motion passed.**

82
83 Amendment #5: To amend the Zoning Ordinance, Section III, *Footnotes to Table 3.6* to consolidate
84 the number of criteria the Planning Board considers in Conditional Use Permit applications from
85 11 criteria to 7 criteria. The purpose of this amendment is to expedite reviews of Conditional Use
86 Permit applications while maintaining core review criteria.

87
88 **Mr. Zaremba made a motion to advance Amendment #5 to town ballot. Mr. Kunowski**
89 **seconded the motion. All voted in favor and the motion passed.**

90
91 **Mr. Zaremba made a motion that the Planning Board support Amendment #5. Mr. Kunowski**
92 **seconded the motion. All voted in favor and the motion passed.**

94 Amendment #6: To amend the Zoning Ordinance, Section VIII *Residential Open Space Cluster*
95 *Development*, to incorporate four major changes to the requirements associated with residential
96 cluster developments. This amendment would reduce the minimum lot size for cluster
97 developments, establish minimum lot sizes for individual lots, require that open space parcels meet
98 additional minimum requirements, and to require that historical and scenic resources be preserved
99 and incorporated into such developments whenever practicable.

100
101 Mr. Connors stated there are a few changes to this Article from the last public hearing. References to
102 feasibility with regards to historic structures was deleted. Additionally the percentage of wetlands
103 allowed in the Open Space was reduced from 25% to 20%.

104
105 **Mr. Zaremba made a motion to advance Amendment #6 to town ballot. Mr. Kunowski**
106 **seconded the motion. All voted in favor and the motion passed.**

107
108 **Mr. Zaremba made a motion that the Planning Board support Amendment #6. Mr. Kunowski**
109 **seconded the motion. All voted in favor and the motion passed.**

110
111 Amendment #7: To amend the Zoning Ordinance, Section V *Supplementary Regulations*, to create
112 a new Sub-section 5.14 for *Small Accessory Structures*. The purpose of this amendment is to
113 provide for reduced side, rear, and wetland setbacks for small sheds or accessory structures under
114 120 square-feet in size provided that the structure meets a number of criteria.

115
116 Mr. Connors stated there are no changes to this Article from the last public hearing.

117
118 **Mr. Zaremba made a motion to advance Amendment #7 to town ballot. Mr. Kunowski**
119 **seconded the motion. All voted in favor and the motion passed.**

120
121 **Mr. Zaremba made a motion that the Planning Board support Amendment #7. Mr. Kunowski**
122 **seconded the motion. All voted in favor and the motion passed.**

123
124 Amendment #8: To amend the Zoning Ordinance, Section IV *Dimensional Regulations*, *Sub-*
125 *section 4.1.4 Maximum Residential Density* to clarify that non-buildable areas, including wetlands,
126 steep slopes, and areas protected by conservation easements or deed restrictions cannot be
127 incorporated into maximum residential density calculations. This amendment would also reduce
128 the maximum residential density in the Route 33 Heritage District from three units per acre to two
129 units per acre.

130
131 Mr. Connors stated there are no changes to this Article from the last public hearing.

132
133 **Mr. Zaremba made a motion to advance Amendment #8 to town ballot. Mr. Kunowski**
134 **seconded the motion. All voted in favor and the motion passed.**

135
136 **Mr. Zaremba made a motion that the Planning Board support Amendment #8. Mr. Kunowski**
137 **seconded the motion. All voted in favor and the motion passed.**

138
139 Amendment #9: To amend the Zoning Ordinance, Section V *Supplementary Regulations*, *Sub-*
140 *section 5.13 Solar Energy Systems* to allow small-scale ground-mount solar energy systems by
141 right if they meet a number of minimum criteria. The purpose of this amendment is to exempt
142 small-scale solar energy systems from requiring a Conditional Use Permit by the Planning Board

143 if they meet certain minimum criteria.

144
145 Mr. Connors stated there are no changes to this Article from the last public hearing.

146
147 **Mr. Zaremba made a motion to advance Amendment #9 to town ballot. Mr. Kunowski**
148 **seconded the motion. All voted in favor and the motion passed.**

149
150 **Mr. Zaremba made a motion that the Planning Board support Amendment #9. Mr. Kunowski**
151 **seconded the motion. All voted in favor and the motion passed.**

152
153 Amendment #10: To amend Section V Supplementary Regulations to enact additional regulations,
154 including screening requirements, on storage containers, semi trailers, and associated structures.

155
156 Mr. Connors stated there was one change to this Article from the last public hearing. Previous language
157 limited the requirements to recreational vehicles over 20 feet long. That language was deleted and the
158 proposed ordinance would apply to all recreational vehicles with an exemption for vehicles that are
159 registered and have passed inspection within the past 15 months.

160
161 **Mr. Zaremba made a motion to advance Amendment #10 to the town ballot. Mr. Kunowski**
162 **seconded the motion. All voted in favor and the motion passed.**

163
164 **Mr. Zaremba made a motion that the Planning Board support Amendment #10. Mr.**
165 **Kunowski seconded the motion. All voted in favor and the motion passed.**

166
167 **Mr. Houghton made a motion to close the public hearing. Mr. Zaremba seconded the motion.**
168 **All voted in favor and the motion passed.**

169
170 **4. Public Meeting**

171
172 **a. Miscellaneous Community Planning Issues**

173
174 **i. Open Space & Connectivity Plan Update**

175
176 Mr. Connors stated that a public event for the Open Space Plan has been scheduled for February
177 12, 2024 at 6:00 pm at the Municipal Center. The draft recommendations of the plan will be
178 presented along with a demonstration of the website for the plan. Mr. Connors asked the Board's
179 assistance to get the word out and promote the event.

180
181 **ii. Housing Supply Update**

182
183 Mr. Connors directed the Board's attention to a staff memo on this topic. The State periodically
184 releases the number of residential building permits that have been approved by towns. The recent
185 release of data includes the number of residential building permits approved by municipality for
186 the years 2019, 2020, and 2021. He stated that Merrimack is interesting because it has approved
187 the highest number of units by far in the state and the units being added there are mostly multi-
188 family units. There is also a lot of development in Salem and Lebanon. Stratham is comparable
189 to other towns of its size in Rockingham County.

190
191 Mr. Kunowski asked if most of the municipalities developing the most housing have public water

192 and sewer systems. Mr. Connors replied yes, he believes all of them do.

193
194 iii. Pending Land Use Applications Update
195

196 Mr. Connors presented an update on the Zoning Board meeting from last week that the ZBA
197 approved the variance for residential single-family homes at the Stoneybrook parcel and denied
198 an application for short-term rentals at 3 Apple Way.

199
200 Mr. House asked if there were any conditions on the Stoneybrook application. Mr. Connors
201 replied yes, that the number of units and the design of development would be the purview of the
202 Planning Board.

203
204 **Mr. Canada made a motion that the Planning Board enter a non-public session to discuss a**
205 **matter which could be a legal issue. Mr. Houghton seconded the motion. All voted in favor**
206 **and the motion passed.**

207
208 **Mr. Canada made a motion to seal the minutes of the non-public session as its disclosure**
209 **would render a proposed action ineffective. Mr. Houghton seconded the motion. All voted**
210 **in favor and the motion passed.**

211
212 **5. Adjournment**
213

214 **Mr. Zaremba made a motion to adjourn the meeting at 8:00 pm. Mr. Canada seconded the**
215 **motion. All voted in favor and the motion passed.**



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Fax (All Offices) 603-775-0517

TO: Planning Board Members

FROM: Mark Connors, Planning & Community Development Director

FOR: February 21, 2024

RE: Lindt & Sprungli USA, Inc. (Applicant & Owner) - Request for approval of an Expedited Site Plan Review Application to construct a proposed 600-foot addition to an existing manufacturing and office use at One Fine Chocolate Place, Tax Map 3, Lot 1, Zoned Industrial. Applicant is represented by The H.L. Turner Group, 27 Locke Road, Concord, NH

APPLICATION BACKGROUND:

The Lindt Chocolate facility, located in the Stratham Industrial Park, is by far the Town's largest commercial/industrial facility and one of the largest in the Seacoast Region. The campus spans approximately 1.5 million square-feet of space in and employs more than 1,000 people.

APPLICATION INFORMATION:

The proposed addition, for a 600 square-foot utility/mechanical room, will not incur any additional traffic or result in new employees to the site. It is not located within any wetland buffer areas and faces away from residential abutters. As a secured facility, the addition will not be visible from the right-of-way. For these reasons, staff believes the application is eligible for Expedited Site Plan Review, which does not require a public hearing.

The addition will be clad in metal panels to match the rest of the facility on the east façade. A concrete sidewalk and electric transformer will be constructed to serve the addition.

Staff would recommend that the applicant work with the Planner to ensure compliance with the Town's Stormwater Regulations (see recommended Condition #3). The applicant will need to work with Building and Fire staff to ensure the addition meets all current building and safety codes. Apart from some minor revisions noted below, staff takes no objection to the proposal.

DRAFT MOTION:

I move that the Planning Board approve the Expedited Site Plan Review application to construct a 600-foot addition to an existing manufacturing and office use at One Fine Chocolate Place, Tax Map 3, Lot 1, Zoned Industrial, consistent with the site plan and associated materials submitted by Turner Group subject to the following binding conditions:

1. A note shall be added to the plan that the proposed addition is for a utility room and will not directly incur any additional employees or traffic to the facility.
2. The applicant shall work with the Town Planner to incorporate minor technical revisions into the plans.
3. The applicant shall work with the Town Planner to ensure the application meets the letter, spirit, and intent of the Town's Stormwater Regulations.
4. The applicant shall be responsible to obtain any associated state or federal permits and the permit numbers shall be noted on the plan.



TOWN OF STRATHAM

10 Bunker Hill Avenue, Stratham NH 03885
 Planning Department (603) 772-7391
 www.strathamnh.gov

SITE PLAN REVIEW APPLICATION

1. CHECKLIST SUMMARY					
1. This completed application (including all application package contents noted in the Site Plan Review Checklist) must be filed with the Planning Board's Agent no later than 12:00 PM on the deadline day published in the Planning Board's Schedule of Regular Board Meetings. 2. Fees (cash or check). Make checks payable to the Town of Stratham.					
Application: <input type="checkbox"/> Preliminary Consultation <input type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Amendment (check one) <input checked="" type="checkbox"/> Expedited Site Plan Review (Eligible for minor amendments. Consult with Town Planner for eligibility)					
Please complete this application thoroughly and accurately, and attach the required exhibits as indicated in the Site Plan Review Checklist. Please note that an incomplete application will not be accepted for processing.					
2. APPLICANT AND PROPERTY OWNER INFORMATION					
APPLICANT NAME:		Lindt & Sprungli (USA), Inc			
Phone #:	(603) 778-8100	Email Address:	ddudley@lindt.com		
Mailing Address:	One Fine Chocolate Place; Stratham, NH 03886				
PROPERTY OWNER NAME (If different from Applicant):					
Phone #:		Email Address:			
Mailing Address:					
3. PROPERTY/PROJECT INFORMATION:					
Tax Map:	3	Property Deed Information:	Book: 3230	Page: 1905	
Lot(s):	1	Total parcel area (SF):	3,874,267	Total parcel area (acres):	88.94
Zoning District(s): Check all that apply. <input type="checkbox"/> Commercial/Light Industrial/Office <input type="checkbox"/> Residential/Agricultural <input type="checkbox"/> Flexible/Mixed Use Development <input type="checkbox"/> Retirement Planned Community <input type="checkbox"/> Gateway Commercial Business <input type="checkbox"/> Route 33 Legacy Highway Heritage <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Special Commercial <input type="checkbox"/> Manufactured Housing/Mobile Home <input type="checkbox"/> Town Center <input type="checkbox"/> Professional/Residential			Overlay District(s): Check all that apply. <input checked="" type="checkbox"/> Aquifer Protection <input type="checkbox"/> Floodplain Management <input type="checkbox"/> Shoreline Protection <input checked="" type="checkbox"/> Wetland Conservation		
4. PROFESSIONAL SUPPORT: (Include additional sheets if necessary.)					
COMPANY NAME:		The HL Turner Group, Inc		Contact:	Douglas V Brodeur, PE
Phone #:	603.228.1122	Email Address:	dbrodeur@ttgae.com		
Mailing Address:	27 Locke Road; Concord, NH 03301				
COMPANY NAME:				Contact:	
Phone #:		Email Address:			
Mailing Address:					

5. PROJECT DESCRIPTION

Briefly describe your existing and proposed use(s):
 Proposed 600sf utility room addition to BLDG BE, to the existing Lindt property, which is a processing, manufacturing, warehousing and distribution facility for chocolate/confectioneries. See attached cover letter for additional details.

Existing Residential Building Area (SF):	0	Existing Commercial Building Area (SF):	891,500+/-
Additional Residential Building Area (SF):	0	Additional Commercial Building Area (SF):	600+/-




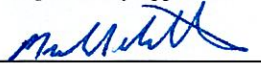
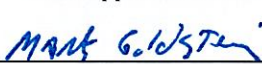
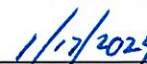
Does the site plan include a commercial use? Yes No
 If yes, what are the anticipated hours and days of operation? See attached cover letter

6. APPLICANT'S CERTIFICATION:

I/We declare under penalty of perjury that all of the submitted information is true and correct to the best of my knowledge and belief. I/We have read and agree to abide by the regulations of the Town of Stratham. I/We understand that any misrepresentations of submitted data may invalidate any approval of this application. If the use is not operated in compliance with these regulations, the permit may be revoked by the Code Enforcement Officer or the Zoning Board of Adjustment.

By signing this application, you are agreeing to all rules and regulations of the Town of Stratham, and are agreeing to allow agents of the Town of Stratham to conduct inspections, during normal town business hours, or your property, to ensure compliance with all Stratham Zoning, Subdivision and/or Site Plan Review regulations while your application is under consideration. The Town accepts electronic signatures on this application. Electronic signatures carry the same validity, enforceability and admissibility, as handwritten signatures.

I/We, the undersigned, authorize The HL Turner Group, Inc to act as the professional and primary contact representing this application before the Stratham Planning Board. Communications related to this application, including those from the Stratham Planning Department, will be directed to this representative.

 _____ Signature of Applicant	 _____ Print Applicant's Name	 _____ Date
 _____ Signature of Property Owner	 _____ Print Property Owner's Name	 _____ Date

PROPERTY OWNER'S INFORMATION IF APPLICANT IS RENTING/LEASING

You must submit a signed letter from the property owner stating that you have their permission to conduct the proposed business project on their property. This letter must include the property owner's name, current address, and telephone number.

SCHEDULE OF FEES FOR PLAN SUBMISSION

Fees will be calculated by Planning Department Staff with payment due at the time of final plan submission for the following:

- Preliminary Consultation.....\$75.00
- Expedited Site Plan Review (notice costs do not apply)\$100.00
- Site Plan Amendment (plus notice costs)\$100.00
- Site Plan Review (plus notice costs).....\$100.00 for each 1,000 sq ft of building construction (minimum \$100.00)
- Notice Costs\$150.00 plus \$8.00 per abutter and per applicant

Please note that additional Special Investigative, Recording, and Municipal Review costs may apply. Review the Site Plan Review Regulations for more information and contact the Town Planner with questions.

PLEASE DO NOT WRITE BELOW THIS LINE – FOR PLANNING DEPARTMENT USE ONLY

Application Received Date: _____	Date of Public Hearing Notice: _____
Application Fee: _____	Check Number: _____
Public Notice Fee: _____	Check Amount: _____
Abutter Notice Fee: _____	Check Payor: _____

Douglas Brodeur

Subject: RE: Permitting Authorization

From: Dudley, Dean <DDudley@lindt.com>

Sent: Tuesday, March 14, 2023 5:52 PM

To: mconnors@strathamnh.gov

Cc: G, Mark <MarkG@milestonenh.com>; Goulet, Dan <DGoulet@lindt.com>; Terry Murphy <terry.murphy@ipi.build>; Douglas Brodeur <dbrodeur@ttgae.com>

Subject: Permitting Authorization

Hello Mark,

Mark Goldstein from Milestone Engineering and Construction is authorized to apply and receive permitting related to the Building G addition at Lindt and Sprungli. Milestone has been contracted to complete the building construction efforts related to the project.

Dean Dudley | Engineering Project Manager

T +1 603 583 7815 | ddudley@lindt.com

Lindt & Sprüngli (USA), Inc.

One Fine Chocolate Place | Stratham, NH 03885

www.lindt.com

We Enchant the World with *Chocolate*

The H.L. Turner Group Inc.

27 Locke Road Concord, NH 03301 t: 603.228.1122 hlturner.com

January 25, 2024

TTG 5386-53

Town of Stratham
Planning Board
c/o Mark Connors, Town Planner
10 Bunker Hill Avenue
Stratham, NH 03885
(603) 772-7391 ext 147
mconnors@starthamnh.gov

Re: Lindt & Sprungli, Inc
[Map 3 Lot 1]
Expedited Site Plan Review, Building BE Utility Room Addition

Dear Members of the Board

On behalf of our client Milestone Engineering & Construction and the Owner/Applicant Lindt & Sprungli (USA), Inc. (Lindt) The HL Turner Group, Inc. (TTG) is formally submitting an application for an 'Expedited Site Plan Review', for a small utility room addition to existing Building BE.

The project site is located at the end of Marin Way, is indicated as Tax Map 3 Lot 1 on the tax assessor's records, has a principal address of One Fine Chocolate Place, and is located within the Industrial (IND) zoning district with portions of the subject property within the Wetlands Conservation and Aquifer Protection Overlay Districts. However, while portions of the property within the Wetlands Conservation and Aquifer Protection Overlay Districts, the project area is exclusive of either, with the closest wetland being approximately 600' to the east, and the limits of the aquifer protection district being on the opposing side of Buildings BE and AA

The addition is essentially a 27'-6"x23'-0" (Exterior Wall Dimensions) 625 sf+ (Interior Square Footage), with a future bump out for access to building BE, for the primary purpose of providing processing equipment space, as indicated on the attached plans. No new employees are needed for the addition, as its purpose is to house mechanical equipment, and as such there is no increase in use or additional traffic associated with this project.

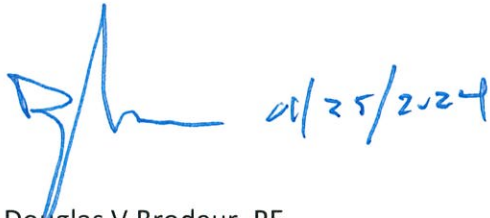
Relative to stormwater, the increase in roof area is infinitesimal, in comparison to the overall existing facility, which contains approximately 1, 500, 000 sf impervious surfaces. As the increase in comparison to the overall surface runoff generated by the existing site is immeasurable.

Should the staff find the attached application incomplete and/or have any questions concerns, please contact me at your leisure. Otherwise, any questions or concerns the Board may have will be acknowledged at the public hearing.

Thank you for your time and consideration regarding this matter.

ARCHITECTS ■ ENGINEERS ■ BUILDING SCIENTISTS

Sincerely
The HL Turner Group, Inc.

A handwritten signature in blue ink, appearing to read 'D. Brodeur', followed by the date '01/25/2024' written in the same ink.

Douglas V Brodeur, PE
Senior Civil Engineer

cc: Paul Gibula, Lindt
Dean Dudley, Lindt
Kristi Mynhier, Scalora
Mark Goldstein, Milestone
Josh Doolittle, B2Q



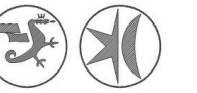
TURNER GROUP

The H.L. Turner Group Inc.

27 Locke Rd.
Concord, New Hampshire 03301
t:603.228.1122
htturner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

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Electronic images of these documents may be used for the purpose of expediting shop drawings and coordination drawings for this project only - except as excluded by individual specifications (e.g. Structural steel). It shall be unlawful to use them for any other purpose. The Architect or Engineer's seals shall not appear on any documents that are modified by others. The Architect shall bear no responsibility for any modifications to the original documents by others.



LINDT & SPRUNGLI USA
ONE FINE CHOCOLATE PLACE
STRATHAM, NH



ENGINEERING & CONSTRUCTION, INC.

P.O. Box 2279, 1 Horseshoe Pond Lane
Concord, NH 03302-2279
tel 603-226-3877
fax 603-226-3361

PROJECT TITLE / ADDRESS:

Lindt & Sprungli, Inc

**Building "BE"
Mechanical Room Addition**

One Fine Chocolate Place
Stratham, NH

ISSUE:

Permitting

PROJ. NO.: S386-53

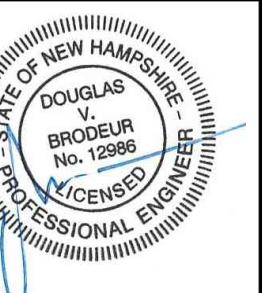
SCALE: As Noted

DESN. BY: DVB

DRAWN BY: MR

CHKD BY: DVB

ISSUE DATE: 01/26/2024



REVISIONS

NO.	DESCRIPTION	DATE
1	INTERNAL REVIEW	02/23/2024

SHEET TITLE:

COVER

C0.1

INDEX OF SHEETS	
SHEET NO.	SHEET TITLE
CO.1	COVER
CO.2	GENERAL NOTES
CO.3	GENERAL LEGEND
C1	SITE PLAN
C2	SITE DETAILS
C3	SITE DETAILS

SITE PLANS FOR LINDT & SPRUNGLI USA "Building "BE" Utility Room Addition" One Fine Chocolate Place TAX MAP 3 LOT 1

ABUTTERS LIST

MAP-LOT:

01-001
Town of Stratham
10 Bunker Hill Avenue
Stratham, NH 03885

01-003
200 Domain LLC Timberland
John Merrill
200 Domain Drive
Stratham, NH, 03885

01-004
SIP-LOT 5A LLC
142 Portsmouth Avenue
PO Box 432
Stratham, NH 03885

01-005
SIP-LOT 5B LLC
142 Portsmouth Avenue
PO Box 432
Stratham, NH 03885

01-006
Surfin Realty LLC
c/o Peter F. Burger Esquire
PO Box 3550
Concord, NH 03302

03-001
Lindt & Sprungli (USA) Inc.
One Fine Chocolate Place
Stratham, NH 03885

03-002
Surfin Realty LLC,
c/o Orr & Reno PA
45 South Main Street
PO Box 3550
Concord, NH 03302

03-003
SIP-LOT 5A LLC,
142 Portsmouth Avenue
PO Box 432
Stratham, NH 03885

03-004
Kelleher Family Revocable Trust
Craig & Patricia P. Kelleher
26 Goss Road
North Hampton, NH 03862

03-005
Friedman Family Revocable Trust
Jeffrey L. & Kellisu Friedman
24 Goss Road
North Hampton, NH 03862

03-006,
Sherill McIntosh
250 Mast Road, Apt. 202
Dover, NH 03820

03-024
Rollins Hill Development LLC
142 Portsmouth Avenue
PO Box 284
Stratham, NH 03885

03-051
James Douglas & Tisha E. Casale
17 Haywick Drive
Stratham, NH 03885

03-052
Timothy J. & Kathryn A. McSweeney
19 Haywick Drive
Stratham, NH 03885

03-053
R. Timothy & Cheryl W. Phoenix Revocable
Trust
26 Haywick Drive
Stratham, NH 03885

03-054
Wentworth Family Trust
Steven & Maryse Wentworth, Trustees
24 Haywick Drive
Stratham, NH 03885

MAP-LOT:

03-055
Joseph Nominee Trust
David A. & Janine A. Joseph
22 Haywick Drive
Stratham, NH 03885

03-056
Stephen R. & Daryl A. Greenwood
20 Haywick Drive
Stratham, NH 03885

03-057
Teresa M. O'Neill Revocable Trust
John T. & Teresa M. O'Neill, Trustees
18 Haywick Drive
Stratham, NH 03885

03-058
Tusani Family Revocable, Trust
Paul & Kathy Tusani, Trustees
16 Haywick Drive
Stratham, NH 03885

03-059
Paul F. MacDonald Revocable Trust &
Carol Ann White Revocable Trust
14 Haywick Drive
Stratham, NH 03885

03-060
Salvatore H. & Kathleen A. Petralia
12 Haywick Drive
Stratham, NH 03885

03-061
Piraino Family Revocable Trust
Paul A. & Patricia A. Piraino, Trustees
10 Haywick Drive
Stratham, NH 03885

03-062
Constance Rose O'Connell
8 Haywick Drive
Stratham, NH 03885

03-063
J. Realty Trust,
John R. Massaua, Trustee
6 Haywick Drive
Stratham, NH 03885

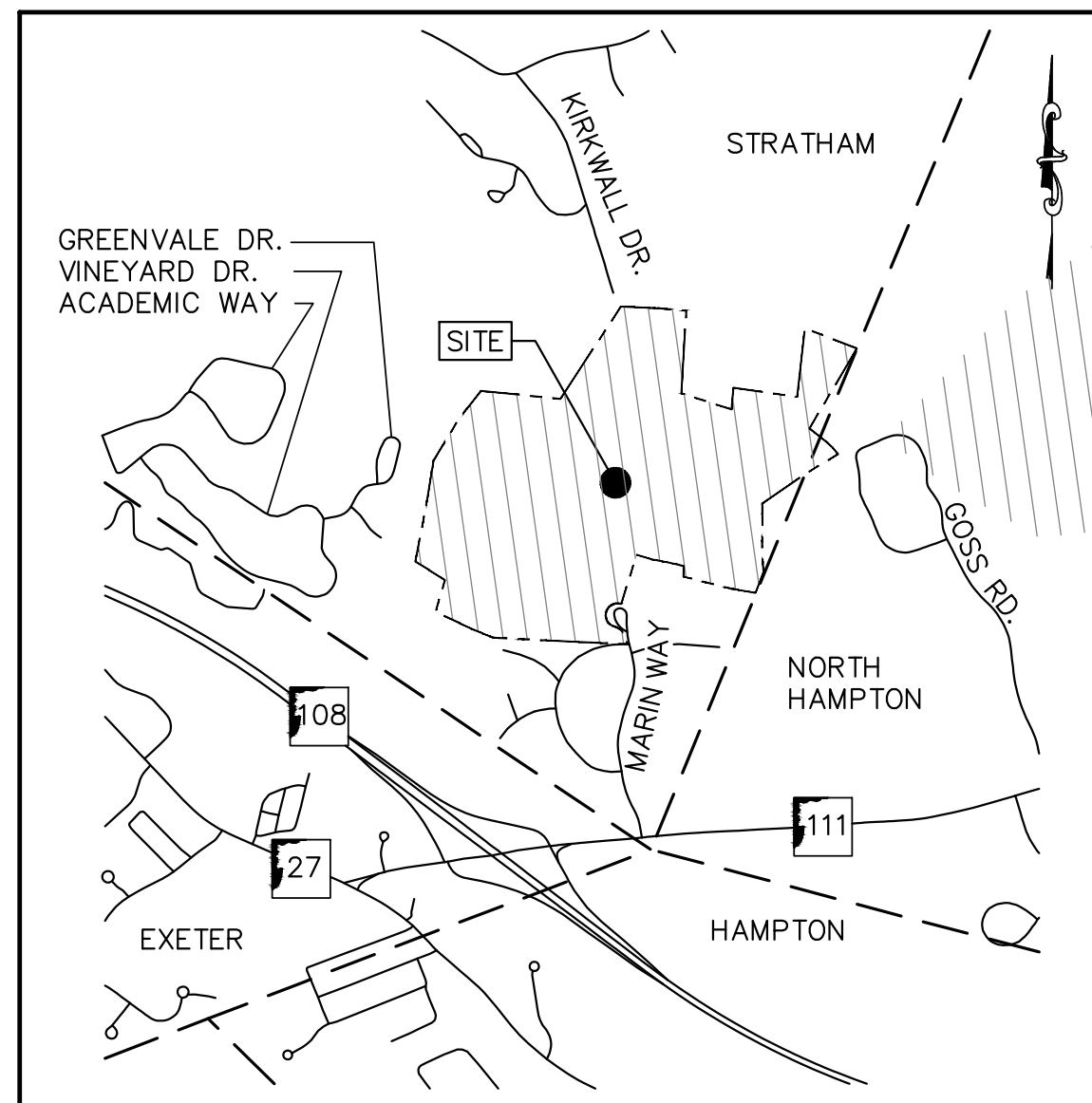
03-064
John & Sue Michaels Revocable, Trust,
4 Haywick Drive
Stratham, NH 03885

03-091
Hodgeman Family Revocable Trust,
William R. & Katherine M. Hodgeman, Trustees
20 Kirkwall Drive
Stratham, NH 03885

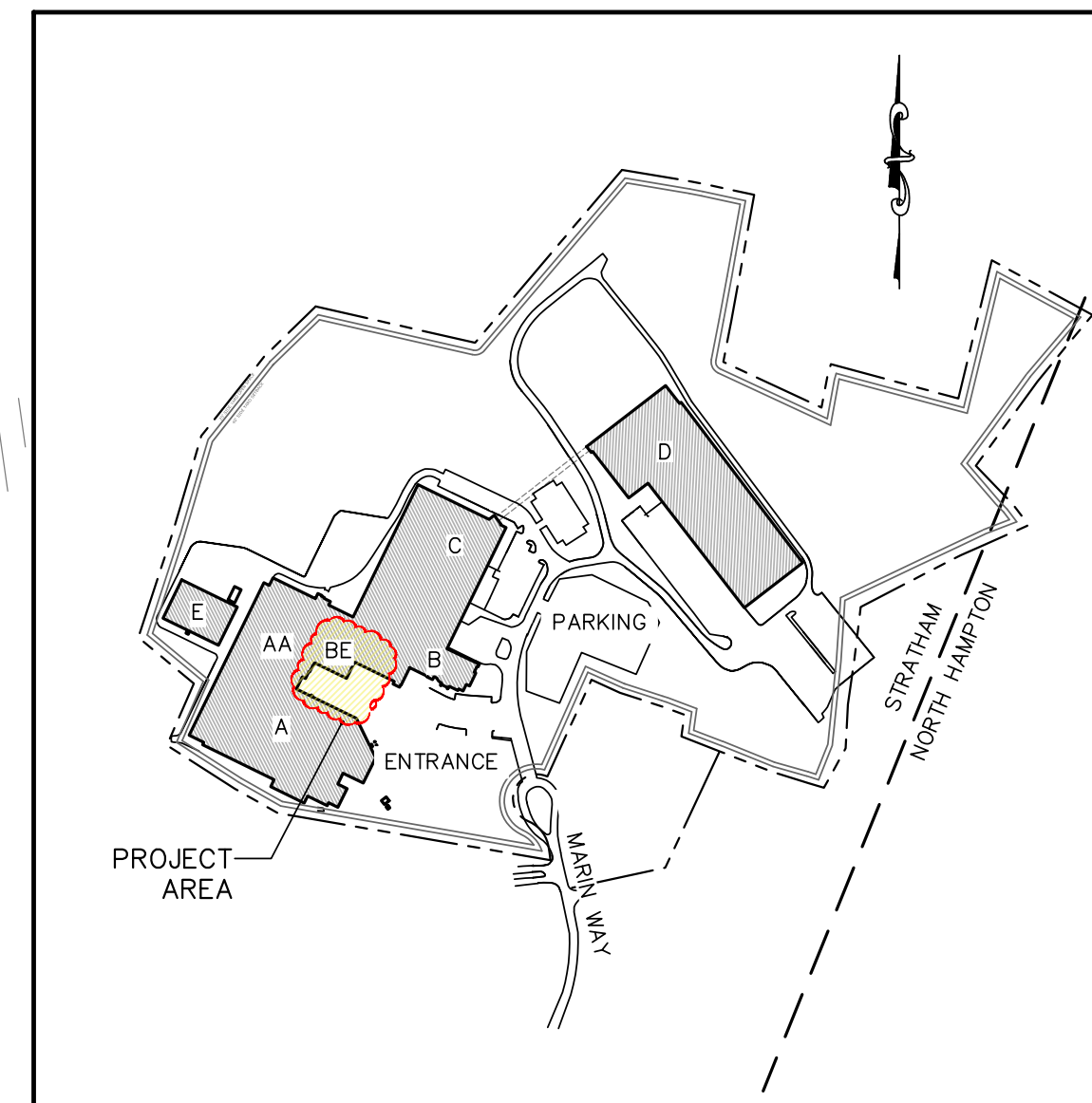
03-092
Drive, Robert H. & Francie B. Hunter
Revocable Trust
Robert & Francie Hunter
18 Kirkwall Drive
Stratham, NH 03885

03-093
Adie Family Trust
Richard D. & Mary E. Adie
16 Kirkwall Drive
Stratham, NH 03885

03-094
James M. & Jane E. Willey Trust
14 Kirkwall Drive
Stratham, NH 03885



VICINITY MAP
NOT TO SCALE



KEY PLAN
SCALE: 1"=600'

TOWN OF STRATHAM COUNTY OF ROCKINGHAM STATE OF NEW HAMPSHIRE

PERMITS

THIS PROJECT IS SUBJECT TO AND/OR REQUIRES THE FOLLOWING PERMITS:

A. TOWN OF STRATHAM PLANNING BOARD APPROVAL:
NON-RESIDENTIAL SITE PLAN [PENDING].

B. TOWN OF STRATHAM BUILDING DEPARTMENT APPROVAL:
BUILDING PERMIT [BY CONTRACTOR].

UTILITY CONTACTS:

ELECTRIC:
UNITIL ENERGY SYSTEMS, INC.
6 LIBERTY LANE
HAMPTON, NH 03842
(603) 772-0775

WATER COMPANY:
AQUARIUM WATER COMPANY
75 COTT ROAD
HAMPTON, NH 03842
(800) 926-3319

TELEPHONE:
CONSOLIDATED COMMUNICATIONS
1575 GREENLAND ROAD
GREENLAND, NH 03840
(800) 240-5091

DIG SAFE:
(888) 344-7233 (DIGSAFE)

PROJECT CONTACTS:

APPLICANT:
LINDT & SPRUNGLI USA
ONE FINE CHOCOLATE PLACE
STRATHAM, NH 03885

OWNER OF RECORD:
LINDT & SPRUNGLI USA
ONE FINE CHOCOLATE PLACE
STRATHAM, NH 03885

PROFESSIONAL CONTACTS:

CIVIL ENGINEER:
THE H.L. TURNER GROUP, INC.
27 LOCKE ROAD
CONCORD, NH 03301
(603) 228-1122

ARCHITECT:
THE H.L. TURNER GROUP, INC.
27 LOCKE ROAD
CONCORD, NH 03301
(603) 228-1122

MECHANICAL ENGINEERING:
B2Q ASSOCIATES
100 BURTT ROAD #212
ANDOVER, MA 01810
(978) 447-5607

PURPOSE OF PLANS:

TO SHOW IMPROVEMENTS NECESSARY TO PERMIT A 625± S.F. UTILITY ROOM ADDITION ADJACENT TO EXISTING BUILDING BE.

GENERAL:

- 1. ALL SITE WORK SHALL CONFORM TO THE LATEST EDITION OF THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION (NHDT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, INCLUDING ALL REVISIONS AND ADDENDA. (THE CURRENT EDITION IS 2016).
2. PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN PLANNER, BUILDING INSPECTOR, AND OTHER RELEVANT TOWN STAFF
3. CONTRACTOR SHALL COORDINATE WITH OWNER TO APPLY FOR AND RECEIVE NECESSARY APPROVALS FROM PERMITTING AGENCIES AND LOCAL USE LAND USE BOARDS. HL TURNER GROUP, INC HAS NOT MADE ANY PERMITTING EFFORTS FOR THE IMPROVEMENTS SHOWN HEREON.
4. UPON AWARD OF THE CONTRACT THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.
5. CONTRACTOR SHALL NOTIFY 'DIG-SAFE' (1-888-344-7233) A MINIMUM OF 72 HOURS PRIOR TO ANY WORK.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY.
7. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LABOR AND SAFETY REQUIREMENTS (IE OSHA, NIOSH, MHSA, NH DOL, ETC.). THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY THE HL TURNER GROUP INC, DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE ARCHITECT OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS AS NECESSARY AND REQUIRED.
8. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (IE BUILDINGS, PAVEMENTS, STONE, ETC.) SHALL RECEIVE A MINIMUM OF SIX INCHES (6") OF LOAM AND SEED.
9. UPON AWARD OF THE CONTRACT THE CONTRACTOR SHALL MAKE ALL NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, SPECIFICATIONS, AND CONTRACT DOCUMENTS.
10. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATION AT INTERFACES WITH PROPOSED PAVEMENTS AND EXISTING GROUND ELEVATIONS ADJACENT TO PROPOSED DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
11. THE CONTRACTOR SHALL NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, FIRE HYDRANTS, AND/OR RIGHT-OF-WAYS WITHOUT APPROPRIATE PERMITS.
12. TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) INCLUDING ALL REVISIONS AND ADDENDA.
13. AREAS DISTURBED BY THE CONTRACTOR OUTSIDE OF THE LIMITS OF WORK SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER. 'ORIGINAL CONDITION' SHALL BE DETERMINED BY THE CITY OF MANCHESTER.
14. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, OR OTHER MEDIA ARE ENCOUNTERED DURING CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP ALL OPERATIONS IN THE VICINITY OF THE SUSPECTED CONTAMINATION AND CONTACT THE OWNER IMMEDIATELY.
15. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS, AND CORRECTIVE ACTION.
16. DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
17. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE EFFECTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE AT NO ADDITIONAL EXPENSE TO THE OWNER.
18. SNOW SHALL BE STORED ONSITE, EXCESS SNOW SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
19. IN THE EVENT OF CONFLICTING STANDARDS, SPECIFICATIONS, REGULATIONS, ETC. THE HIGHER REQUIREMENT SHALL PREVAIL.
20. CONTRACTOR SHALL OBTAIN WRITTEN AUTHORIZATION FROM THE OWNER PRIOR TO PERFORMING ANY ADDITIONAL SERVICES OR WORK, NOT SHOWN ON THE PROJECT DRAWINGS OR CONTAINED IN THE PROJECT DOCUMENTS. FAILURE TO OBTAIN AUTHORIZATION PRIOR TO PERFORMING WORK, MAY INDEMNIFY THE OWNER FROM ADDITIONAL EXPENSES AND COSTS BORNE BY CONTRACTOR.
21. ACCESSIBLE CURB RAMPS (ACR), ACCESSIBLE RAMPS, HANDICAP PARKING, AND OTHER ACCESSIBLE WAYS SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE AMERICAN'S WITH DISABILITIES ACT (ADA).

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM FACE OF CURB, FACE OF BUILDING, FACE OF WALL, CENTER OF PIPE, AND CENTER OF PAVEMENT MARKING, UNLESS OTHERWISE INDICATED, AND AS FOLLOWS:
a. SIDEWALK WIDTHS ARE MEASURED FROM THE BACK FACE OF CURB TO THE OUTSIDE EDGE OF SIDEWALK;
b. PIPE SEPARATION IS MEASURED FROM THE OUTSIDE DIAMETERS OF PIPE(S).
2. CURB RADII SHALL BE REPLACED IN KIND UNLESS OTHERWISE INDICATED.
3. CURBING SHALL BE REPLACED IN KIND UNLESS OTHERWISE INDICATED.
4. SEE ARCHITECTURAL DRAWINGS FOR EXACT STRUCTURE DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDINGS, INCLUDING SIDEWALKS, RAMPS, STAIRWAYS, ENTRANCES, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
5. EXISTING PROPERTY MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A LICENSED LAND SURVEYOR (LLS).
6. IN ORDER TO PROVIDE VISUAL CLARITY ON THE PLANS NOT ALL DEPICTED ITEMS ARE SHOWN ON EVERY PLAN SHEET. THE CONTRACTOR SHALL USE ENTIRE PLAN SETS AND NOT RELY ON INDIVIDUAL SHEETS DURING CONSTRUCTION.
7. STATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
8. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS LITERATURE, SHOP DRAWINGS, AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
9. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH PAPER COPIES OF THE DRAWINGS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

UTILITIES:

- 1. LOCATIONS, SIZES AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT NECESSARILY INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE DRAWINGS, AND AS FOLLOWS:
a. UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE SERVICEABILITY OF UTILITIES;
b. DOES NOT GUARANTEE THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT, WHICH MAY NOT BE SHOWN ON THE DRAWINGS;
c. PRIOR TO ORDERING MATERIALS CONTRACTOR SHALL:
i. SHALL VERIFY AND DETERMINE EXACT LOCATIONS, SIZES, ELEVATIONS, AND MATERIAL TYPES OF EXISTING UTILITIES AT POINTS OF CONNECTIONS;
ii. SHALL CONFIRM THAT THERE ARE NOT INTERFERENCES WITH EXISTING UTILITIES AND PROPOSED ROUTES.
2. WHERE EXISTING UTILITIES ARE FOUND TO CONFLICT WITH PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS, SUCH THAT WORK CANNOT BE COMPLETED AS INTENDED ON THE DRAWINGS, THE CONTRACTOR SHALL:
a. CONTACT THE OWNER AND DESIGNATED REPRESENTATIVE(S), WITHOUT DELAY BY THE CONTRACTOR, AND FURNISH THE FOLLOWING INFORMATION AS FOLLOWS:
i. IN WRITING;
ii. ACCURATE LOCATION, ELEVATION, SIZE, TYPE, AND MATERIAL OF THE UTILITY;
b. FAILURE OF THE CONTRACTOR TO NOTIFY THE OWNER, MAY INDEMNIFY THE OWNER OF ANY ADDITIONAL COSTS, CHANGE ORDERS, OR FEES BORNE BY THE CONTRACTOR AND AS FOLLOWS:
i. IN A TIMELY FASHION OR PER THE CONTRACT DOCUMENTS FOR RESOLUTION OF A CONFLICT;
ii. PERFORMING ADDITIONAL WORK OR DIFFERENTIATION FROM THE CONTRACT DOCUMENTS, WITHOUT ATTAINING AUTHORIZATION FROM THE OWNER.
3. LOCATION, SIZE, DEPTH AND CONSTRUCTION SPECIFICATIONS OF PROPOSED PRIVATE UTILITIES AND SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS OF THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, CABLE, FIRE ALARM, SECURITY ALARM, ETC.). FINAL DESIGN LOADS SHALL BE COORDINATED BY THE OWNER AND ARCHITECT.
4. UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE INDICATED:
a. POTABLE WATER: DUCTILE IRON (DI), CLASS 52), CEMENT LINED INTERIOR, DOUBLE BITUMASTIC COATED EXTERIOR, AND PREWRAPPED IN POLYETHYLENE SHEETING, CONNECTIONS SHALL BE PUSH ON TYPE (TYTON OR EQUIVALENT, PIPING, CONNECTIONS, AND APPURTENANCES SHALL MEET THE REQUIREMENTS OF THE AQUARIUM WATER COMPANY AND AMERICAN WATER WORKS ASSOCIATIONS (AWWA) FOR MATERIALS, STORAGE OF MATERIALS, AND INSTALLATION METHODS.
b. FIRE PROTECTION: DUCTILE IRON (DI), CLASS 52, CEMENT LINED INTERIOR, DOUBLE BITUMASTIC COATED EXTERIOR, AND PREWRAPPED IN POLYETHYLENE SHEETING, CONNECTIONS SHALL BE PUSH ON TYPE (TYTON OR EQUIVALENT). PIPING, CONNECTIONS, AND APPURTENANCES SHALL MEET THE REQUIREMENTS OF THE AMERICAN WATER WORKS ASSOCIATIONS (AWWA), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA), AND/OR FM GLOBAL FOR MATERIALS, STORAGE OF MATERIALS, AND INSTALLATION METHODS.

(UTILITIES NOTES CONTINUED)

- c. SANITARY SEWER: GRAVITY: POLYVINYL CHLORIDE (PVC), STANDARD DIAMETER RATIO THIRTY FIVE (SDR-35) MEETING THE REQUIREMENTS OF THE AMERICAN SOCIETY OF TESTING MATERIALS (ASTM) D2241 WITH RING TIGHT JOINTS AND GASKETS CONFORMING TO ASTM F477 PRESSURE RATED AND/OR SOLVENT WELDED CONNECTIONS.
5. WHERE SEWER PIPES CROSS WATER PIPES THE FOLLOWING SHALL APPLY: IF ONE AND ONE HALF FEET (1.5') OF VERTICAL SEPARATION (FROM OD TO OD), WHERE THE WATER PIPE IS ABOVE THE SEWER PIPE, CANNOT BE ACHIEVED. THE SEWER PIPE SHALL BE:
a. CONSTRUCTED WITH FORCE MAIN CONSTRUCTION MATERIALS;
b. FREE OF ANY JOINTS OR CONNECTIONS WITHIN SIX FEET (6') HORIZONTALLY OF THE WATER MAIN;
c. SHALL BE IN ACCORDANCE WITH DETAILS SHOWN ON THE DRAWINGS, THE CONTRACT DOCUMENTS, AND NHDES REQUIREMENTS.
6. GRATES, COVERS, VALVE COVERS, GAS GATES, PULL BOX COVERS ELEVATIONS ARE APPROXIMATE AND FINAL ELEVATIONS SHALL BE SET AND/OR RESET AS FOLLOWS:
a. PAVEMENT SURFACES: FLUSH
b. SURFACES WITHIN ACCESSIBLE ROUTES: FLUSH
c. LANDSCAPE, TURF, OR OTHER EARTH SURFACES: ONE INCH (1") ABOVE FINAL GRADE, WITH EARTH TAPERED UP TO THE FINAL COVER/RIM ELEVATION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH AND PAYING FEES ASSOCIATED FOR RELOCATING AND/OR ALTERATION TO UTILITY POLES AND ABOVE AND/OR UNDERGROUND UTILITIES (IE GAS, TELEPHONE, ELECTRIC, CABLE, FIRE/SECURITY ALARM, ETC.), IRRESPECTIVE OF WHETHER THE WORK IS PERFORMED BY THE PRIVATE UTILITY.

DEMOLITION:

- 1. CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMITS OF WORK INCLUDING NOT LIMITED TO, BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCING, SIGNS, UTILITIES AND APPURTENANCES, UNLESS OTHERWISE INDICATED AND AS FOLLOWS:
a. DO NOT REMOVE ACTIVE UTILITIES;
b. SALVAGEABLE AND REUSABLE MATERIALS DETERMINED BY THE OWNER WHICH MAY INCLUDE BUT NOT BE LIMITED TO, CURBING, SIGNS, HYDRANTS, VALVES, STRUCTURES, ETC. SALVAGEABLE MATERIALS SHALL BE DETERMINED BY THE OWNER PRIOR TO THE START OF WORK.
2. CONTRACTOR AT HIS DISCRETION MAY OPT TO GRIND THE EXISTING PAVEMENT INTO THE EXISTING SUB BASE AND REUSE MATERIAL ON SITE, WHERE IT MEETS THE REQUIRED MATERIAL SPECIFICATIONS.
3. CONTRACTOR SHALL BECOME THE OWNER OF AND DISPOSE OF ALL MATERIALS, DEBRIS, AND ITEMS IN ACCORDANCE WITH APPLICABLE LAW(S). BURNING OF WASTE MATERIALS WHETHER LEGALLY PERMITTED OR NOT SHALL BE PROHIBITED.

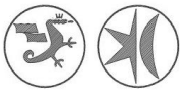
TURNER GROUP

The H.L. Turner Group Inc.

27 Locke Rd. Concord, New Hampshire 03301 t603.228.1122 hlturner.com

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LINDT & SPRUNGLI USA ONE FINE CHOCOLATE PLACE STRATHAM, NH

MILESTONE ENGINEERING & CONSTRUCTION, INC.

P.O. Box 2279, 1 Horseshoe Pond Lane Concord, NH 03302-2279 tel 603-226-3877 fax 603-226-3361

PROJECT TITLE / ADDRESS:

Lindt & Sprungli, Inc

Building "BE" Mechanical Room Addition

One Fine Chocolate Place Stratham, NH

ISSUE:

Permitting

PRJ. NO.: 5386-53

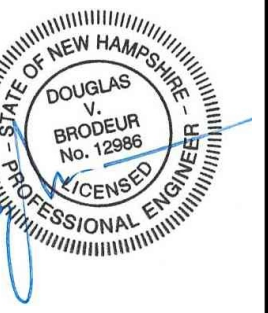
SCALE: NTS

DESN. BY: DVB

DRAWN BY: MR

CHKD BY: DVB

ISSUE DATE: 01/26/2024



REVISIONS

Table with 3 columns: Revision number, Description, Date. Row 1: 1, INTERNAL REVIEW, 02/23/2024

SHEET TITLE:

GENERAL NOTES

C0.2

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		CONTOUR INTERVALS
		SPOT ELEVATIONS
		GRADE ADJACENT TO TOP/BOTTOM OF WALL
		ELEVATION OF TOP/BOTTOM OF WALL
		GRADE ADJACENT TO TOP/BOTTOM OF CURB
		DAYLIGHT LINE CUT SECTION
		DAYLIGHT LINE FILL SECTION
		LIMITS OF WORK

PROPOSED	EXISTING	DESCRIPTION
		PROPERTY/RIGHT-OF-WAY LINE
		ZONING LINE
		APPROXIMATE ABUTTING LOT LINE
		EASEMENT LINE
		BUILDING/YARD SETBACK LINE
		TREE LINE
		WOOD POST GUARDRAIL
		STEEL POST GUARDRAIL
		FENCE-WIRE
		FENCE-CHAINLINK
		FENCE-STOCKADE
		FENCE-SPLIT RAIL
		PAVEMENT/SAWCUT LINE
		EDGE OF BITUMINOUS ASPHALT PAVEMENT
		EDGE OF GRAVEL SHOULDER/SLOPE BREAK
		CURB-VERTICAL/STRAIGHT GRANITE
		CURB-SLOPED GRANITE
		CURB-CAPE COD/ASPHALT BERM
		CURB-PRECAST CONCRETE
		CURB-EXTRUDED CONCRETE
		CURB-INTEGRALLY CIP CONCRETE
		SOILS BOUNDARY
		DELINEATED/JURISDICTIONAL WETLANDS
		DELINEATED ORDINARY HIGH WATER MARK
		SURFACE WATER

PROPOSED	EXISTING	DESCRIPTION
		BUILDING
		BUILDING CANOPY OVERHANG
		ENTRANCE/EXIT
		OVERHEAD DOOR
		LOADING DOCK

PROPOSED	EXISTING	DESCRIPTION
		PORTLAND CEMENT CONCRETE
		BITUMINOUS ASPHALT PAVEMENT NORMAL/LIGHT DUTY SECTION
		BITUMINOUS ASPHALT PAVEMENT HEAVY DUTY SECTION
		RIPRAP/STONE FILL
		PERMITTED WETLAND DISTURBANCE
		DELINEATED/JURISDICTIONAL WETLANDS
		REGULATORY TRAFFIC/DIRECTIONAL SIGNS
		ADA HANDICAP PAVEMENT MARKING
		TRAFFIC SIGNAL
		TRAFFIC SIGNAL MAST ARM
		ADA HANDICAP PAVEMENT MARKING BOLLARD
		TREES, SHRUBS, AND PLANTS
		GEOTECHNICAL BORING
		SOIL TEST PIT
		SOIL PERCOLATION TEST
		SOIL INFILTRATION TEST
		MONITORING WELL
		DELINEATED WETLAND FLAG
		DIRECTION OF PIPE/SWALE FLOW
		DIRECTION OF STREAM FLOW

PROPOSED	EXISTING	DESCRIPTION
		SILT FENCE
		COMPOST SOCK
		DOUBLE PERIMETER CONTROL
		EROSION CONTROL MIX BERM
		HAYBALE BARRIER
		SILT CURTAIN
		DIVERSION SWALE/DYKE

PROPOSED	EXISTING	DESCRIPTION
		15" S
		8" S
		2" FM
		6" W
		8" FP
		UD
		FD
		RD
		TD
		TS
		V
		UGE/T/C
		OHE/T/C
		2" G
		2" LP
		CS
		SM
		SSM
		CO
		FE
		HW
		WV
		CS
		PIV
		HY
		TSV
		WM
		PW
		GG
		GM
		EMH
		T
		E
		UP
		LP
		GW
		HH

PROPOSED	DESCRIPTION
	TYPICAL SECTION NUMBER
	SHEET LOCATION OF TYPICAL SECTION
	CROSS-SECTION NUMBER
	SHEET WHERE CROSS-SECTION IS SHOWN
	DETAIL NUMBER
	SHEET SERIES WHERE DETAIL IS SHOWN
	SHEET WHERE DETAIL IS SHOWN
	PARKING SPACE COUNT
	REMOVE
	ABANDON IN PLACE
	REMOVE AND RESET
	REMOVE AND SALVAGE TO OWNER
	PROTECT AND MAINTAIN
	REMOVE PAVEMENT

ABBREVIATIONS

GENERAL	DESCRIPTION
ABAN	Abandon
ACR	Accessible Curb Ramp
ADJ	Adjust
APPROX	Approximate
BC	Bottom Of Curb
BOS	Bottom Of Slope
CCB	Cape Cod Berm
ELEV	Elevation
EXIST	Existing
FDN	Foundation
MAX	Maximum
MIN	Minimum
NIC	Not In Contract
NTS	Not To Scale
PCC	Precast Concrete Curb
PROP	Proposed
PSI	Pounds Per Square Inch
RAP	Reclaimed Asphalt Pavement
R&R	Remove And Reset
R&S	Remove And Stack
REM	Remove
REMOD	Remodel
RET	Retain
SGC	Slope Granite Curb
SSWL	Single Solid White Line
TOS	Top Of Slope
TOW	Top Of Wall
TYP	Typical
U.N.O.	Unless Noted Otherwise
VGC	Vertical Granite Curb

LANDSCAPING	DESCRIPTION
B&B	Balled & Burlapped
BR	Bare Root
L&S	Loam And Seed

UTILITY	DESCRIPTION
ACCMP	Asphalt Coated Corrugated Metal Pipe
AD	Acid Resistant
CAP	Corrugated Aluminum Pipe
CIP	Cast Iron Pipe
CIT	Change In Type
CMP	Corrugated Metal Pipe
COND	Conduit
DIP	Ductile Iron Pipe
F&C	Frame And Cover
F&G	Frame And Grate
HDPE	High Density Polyethylene Pipe
HYD	Hydrant
INV	Invert Elevation
PE	Polyethylene Pipe
PPC	Polypropylene Pipe
PPS	Prefabricated Pump Station
PVC	Polyvinylchloride Pipe
PWW	Paved Water Way
R	Rim
RCP	Reinforced Concrete Pipe
RGS	Rigid Galvanized Steel
T	Telephone/Telecommunication
TSV	Tapping Sleeve
UD	Underdrain
UP	Utility Pole
VCP	Vitrified Clay Pipe

TURNER GROUP

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h:turner.com

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STRATHAM, NH

MILESTONE
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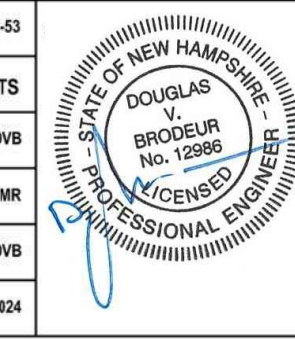
PROJECT TITLE / ADDRESS:
Lindt & Sprungli, Inc

**Building "BE"
Mechanical Room Addition**

One Fine Chocolate Place
Stratham, NH

ISSUE:
Permitting

PROJ. NO.:	5386-53
SCALE:	NTS
DES. BY:	DVB
DRAWN BY:	MR
CHKD BY:	DVB
ISSUE DATE:	01/26/2024



REVISIONS	DESCRIPTION	DATE
1	INTERNAL REVIEW	02/23/2024

GENERAL LEGEND

C0.3

P:\5386 - Lindt Phase 2 Expansion - Stratham\Drawings\01_Civil\5386-53 BLDG BE Utility Room\Preliminary Plans\03386-53 Cover Legend & Notes.dwg, 1/24/2024 11:07:52 AM, Bluebeam PDF

The H.L. Turner Group Inc.

27 Locke Rd.
Concord, New Hampshire 03301
t:603.228.1122
h:turner.com

ARCHITECTS • ENGINEERS • BUILDING SCIENTISTS

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LINDT & SPRUNGLI USA
ONE FINE CHOCOLATE PLACE
STRATHAM, NH

MILESTONE
ENGINEERING & CONSTRUCTION, INC.
P.O. Box 2279, 1 Horseshoe Pond Lane
Concord, NH 03302-2279
tel 603-226-3877
fax 603-226-3361

PROJECT TITLE / ADDRESS:
Lindt & Sprungli, Inc

**Building "BE"
Mechanical Room Addition**

One Fine Chocolate Place
Stratham, NH

ISSUE:
Permitting

PROJ. NO.: 5386-53

SCALE: 1"=20'

DESN. BY: DVB

DRAWN BY: MR

CHKD BY: DVB

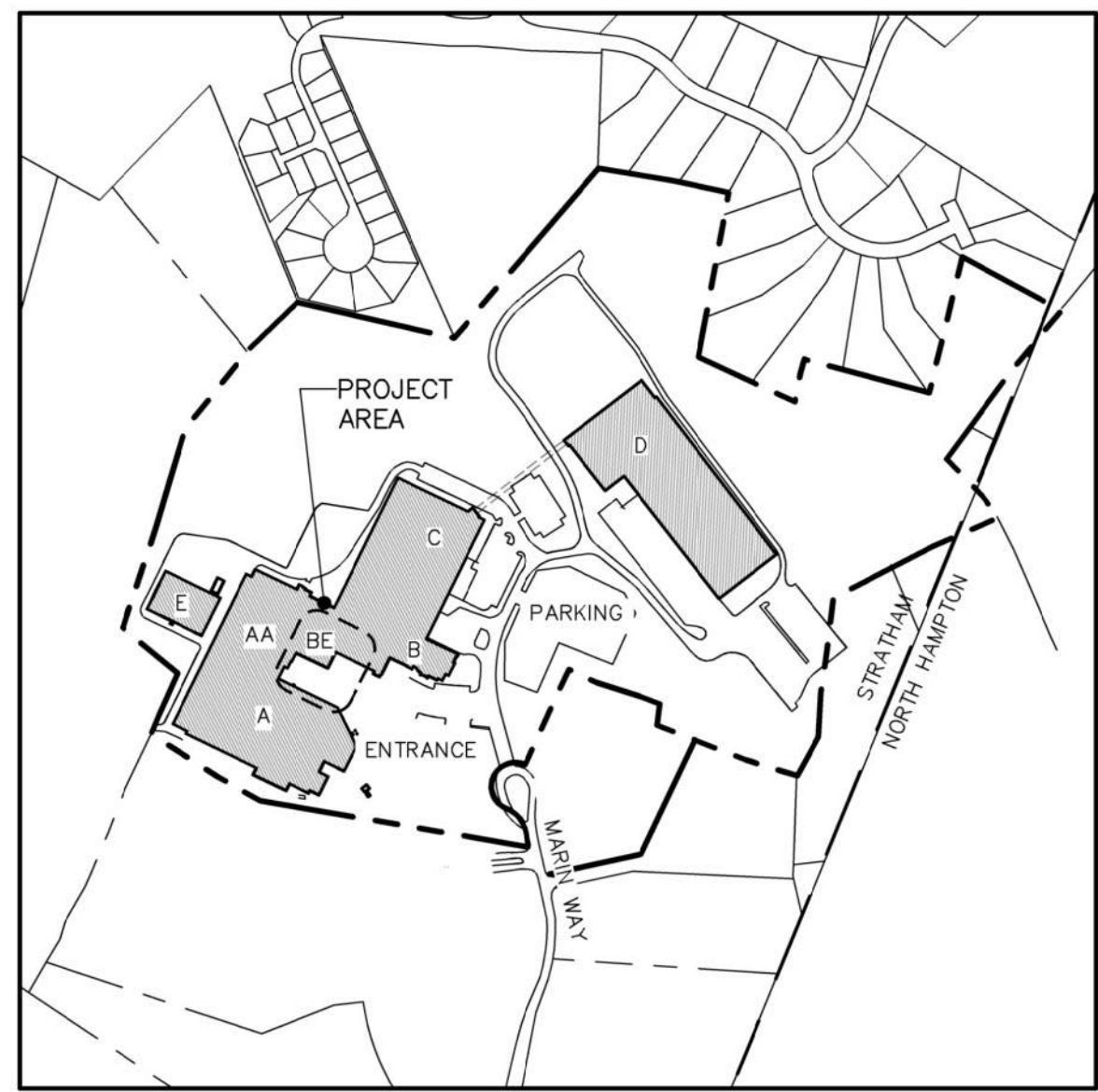
ISSUE DATE: 01/26/2024

REVISIONS

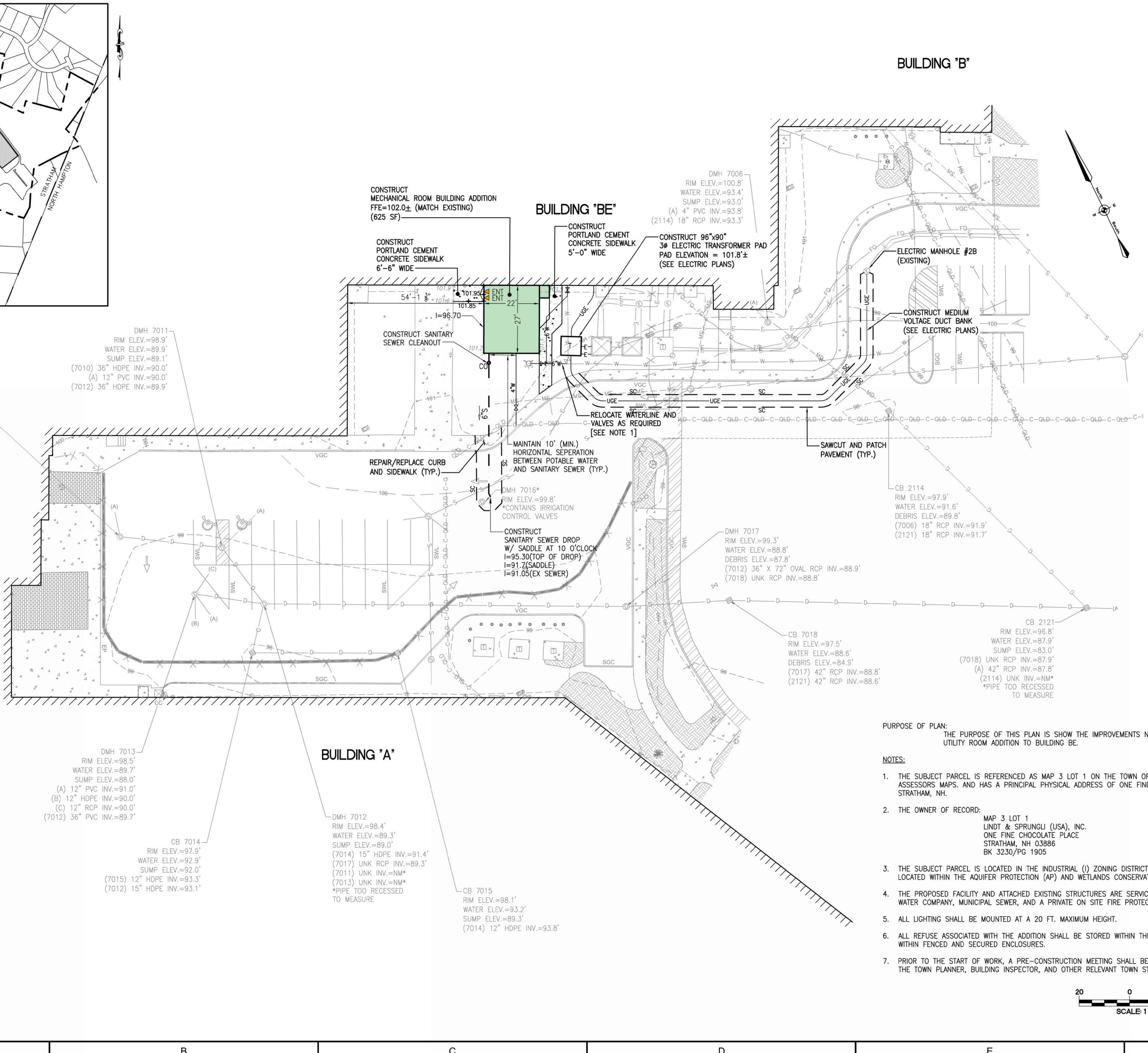
NO.	DESCRIPTION	DATE
1	INTERNAL REVIEW	02/23/2024

SHEET TITLE:
SITE PLAN

C1



KEY PLAN
SCALE: 1"=600'

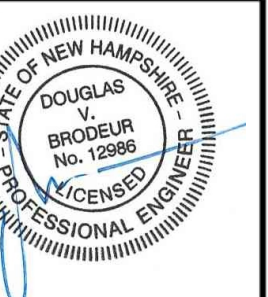
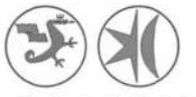


PURPOSE OF PLAN:
THE PURPOSE OF THIS PLAN IS SHOW THE IMPROVEMENTS NECESSARY FOR A UTILITY ROOM ADDITION TO BUILDING BE.

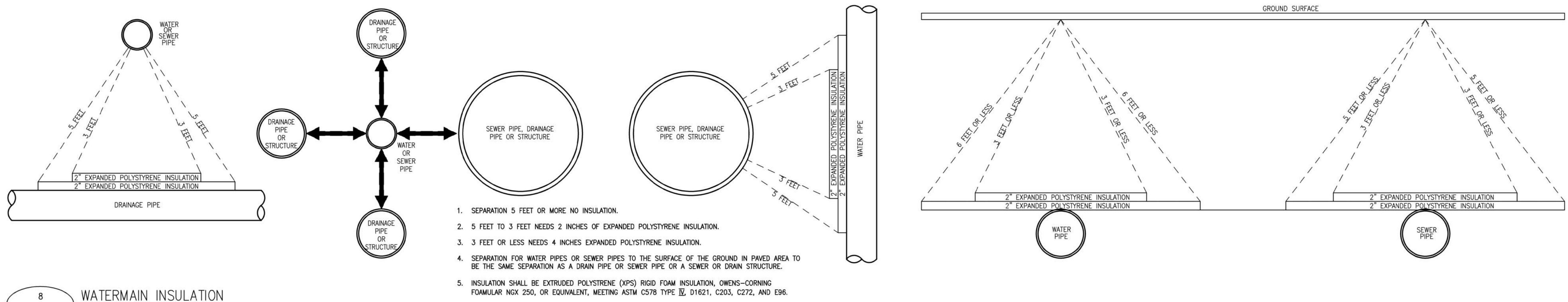
- NOTES:
- THE SUBJECT PARCEL IS REFERENCED AS MAP 3 LOT 1 ON THE TOWN OF STRATHAM TAX ASSESSORS MAPS. AND HAS A PRINCIPAL PHYSICAL ADDRESS OF ONE FINE CHOCOLATE PLACE, STRATHAM, NH.
 - THE OWNER OF RECORD:
MAP 3 LOT 1
LINDT & SPRUNGLI (USA), INC.
ONE FINE CHOCOLATE PLACE
STRATHAM, NH 03886
BK 3230/PG 1905
 - THE SUBJECT PARCEL IS LOCATED IN THE INDUSTRIAL (I) ZONING DISTRICT, AND PARTIALLY LOCATED WITHIN THE AQUIFER PROTECTION (AP) AND WETLANDS CONSERVATION (WC) DISTRICTS.
 - THE PROPOSED FACILITY AND ATTACHED EXISTING STRUCTURES ARE SERVICED BY AQUARIAN WATER COMPANY, MUNICIPAL SEWER, AND A PRIVATE ON SITE FIRE PROTECTION SYSTEM.
 - ALL LIGHTING SHALL BE MOUNTED AT A 20 FT. MAXIMUM HEIGHT.
 - ALL REFUSE ASSOCIATED WITH THE ADDITION SHALL BE STORED WITHIN THE STRUCTURE OR WITHIN FENCED AND SECURED ENCLOSURES.
 - PRIOR TO THE START OF WORK, A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN PLANNER, BUILDING INSPECTOR, AND OTHER RELEVANT TOWN STAFF.



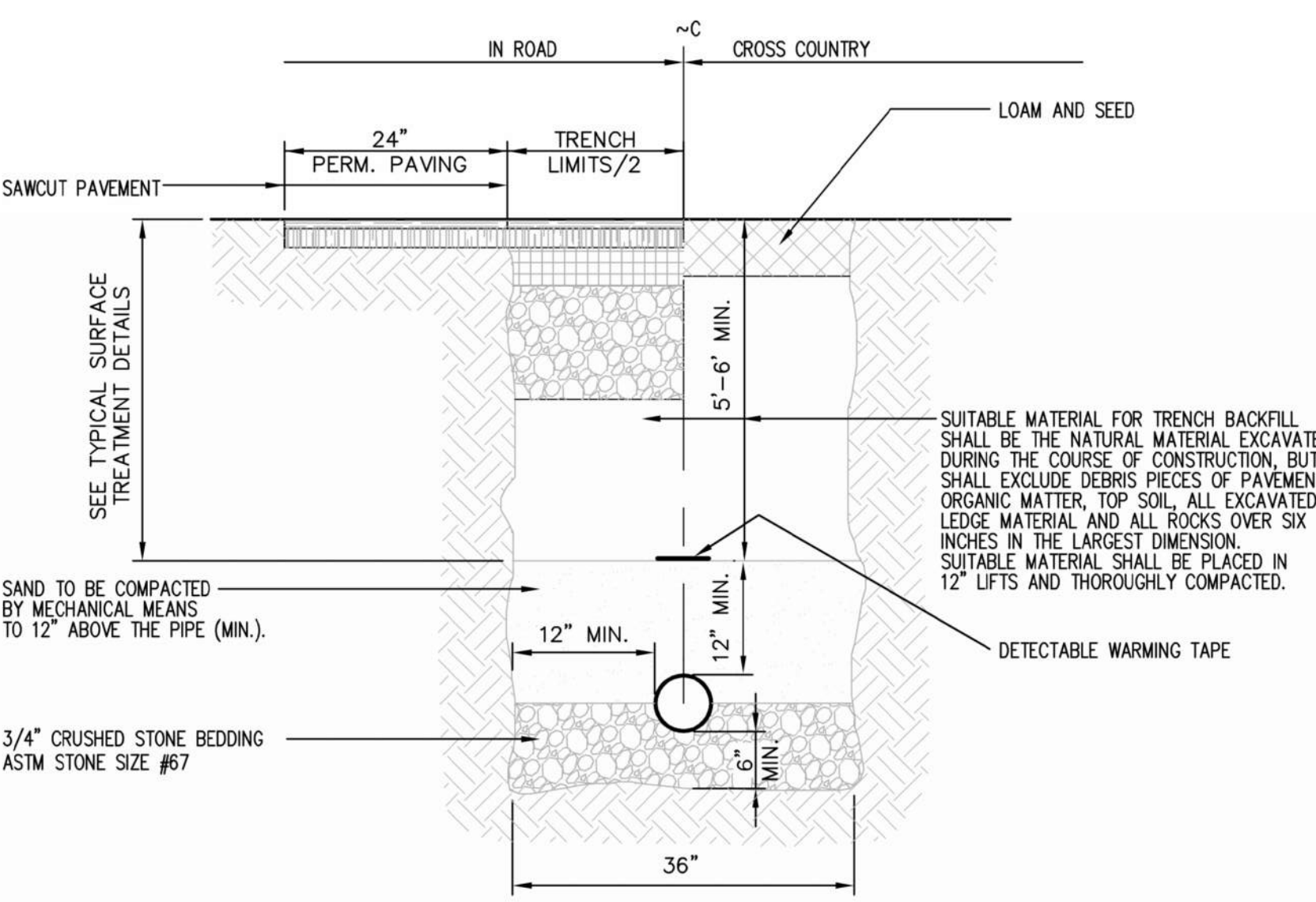
P:\5386 - Lindt Phase 2 Expansion - Stratham\Drawings\01_Civil\5386-53 BLDG BE Utility Room\Primary Plans\5386-53 BE Utility Addition Site Plan.dwg, 1/25/2024 11:25:15 AM, Bluebeam PDF



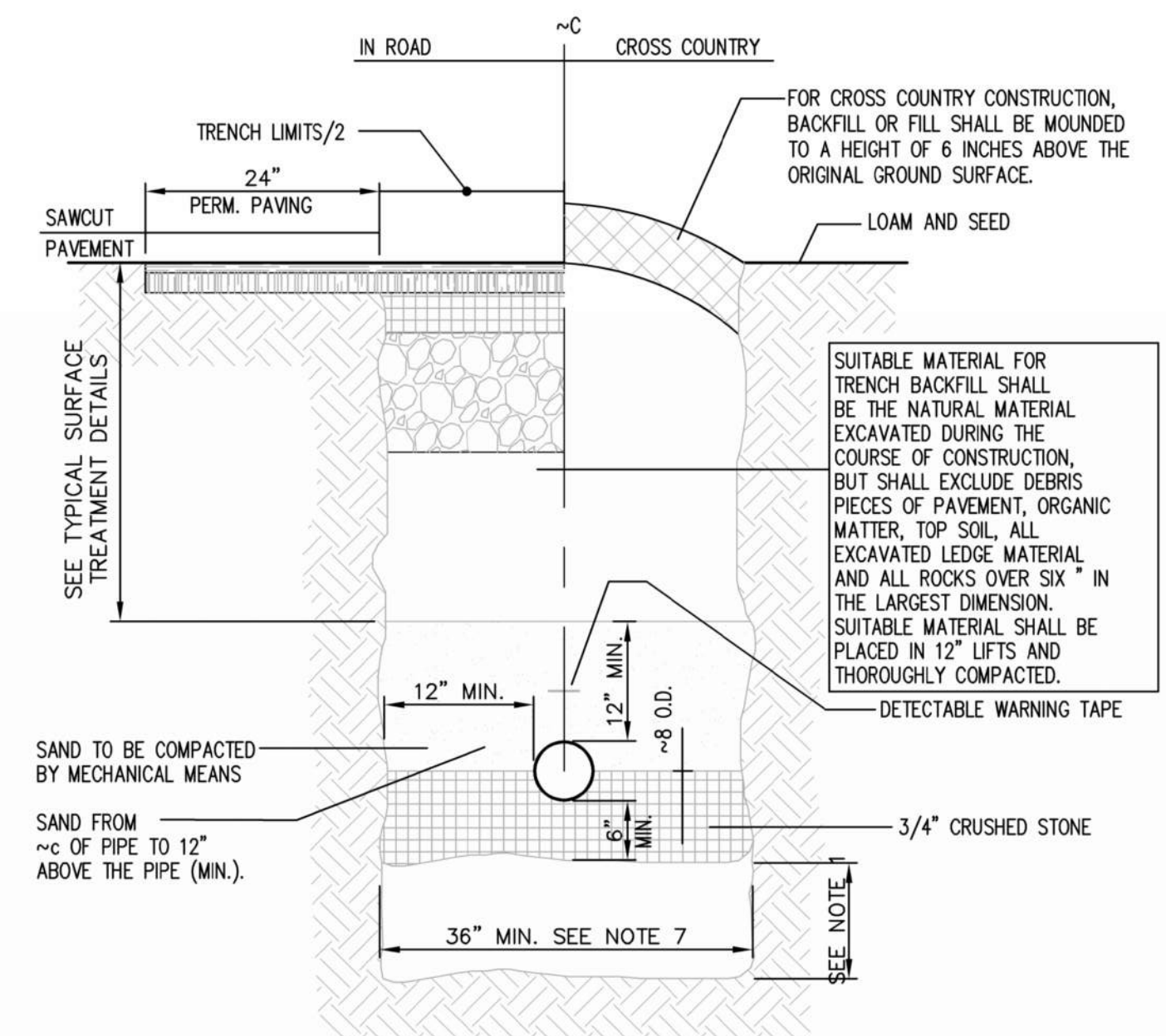
NO.	DESCRIPTION	DATE
1	INTERNAL REVIEW	02/23/2024



8 WATERMAIN INSULATION
SCALE: NONE



1 TYPICAL WATERLINE TRENCH DETAIL
SCALE: 3/4" = 1'-0" C5013C

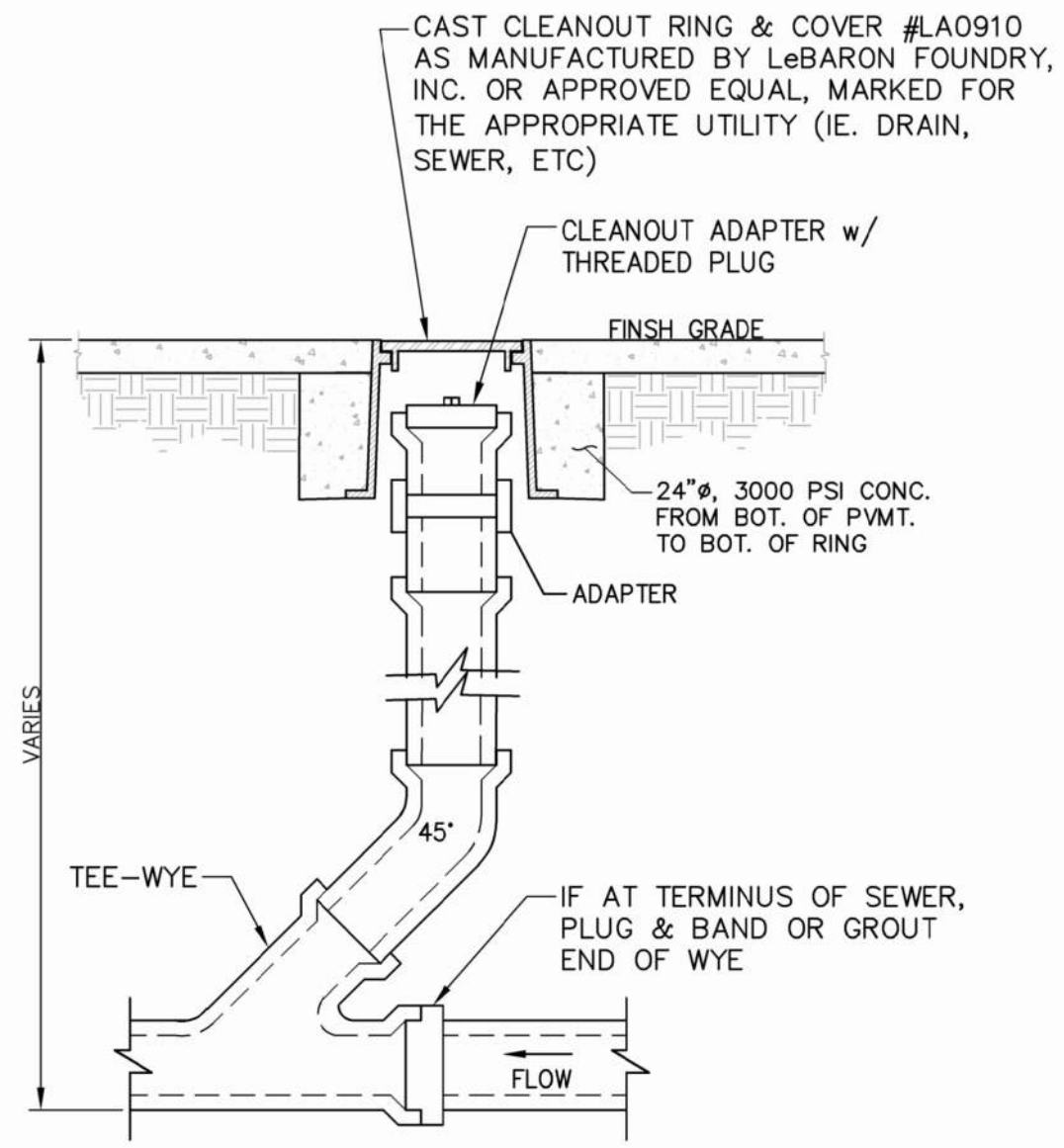


TRENCH DETAIL ~ SANITARY SEWER PIPE
SCALE: 3/4" = 1'-0"

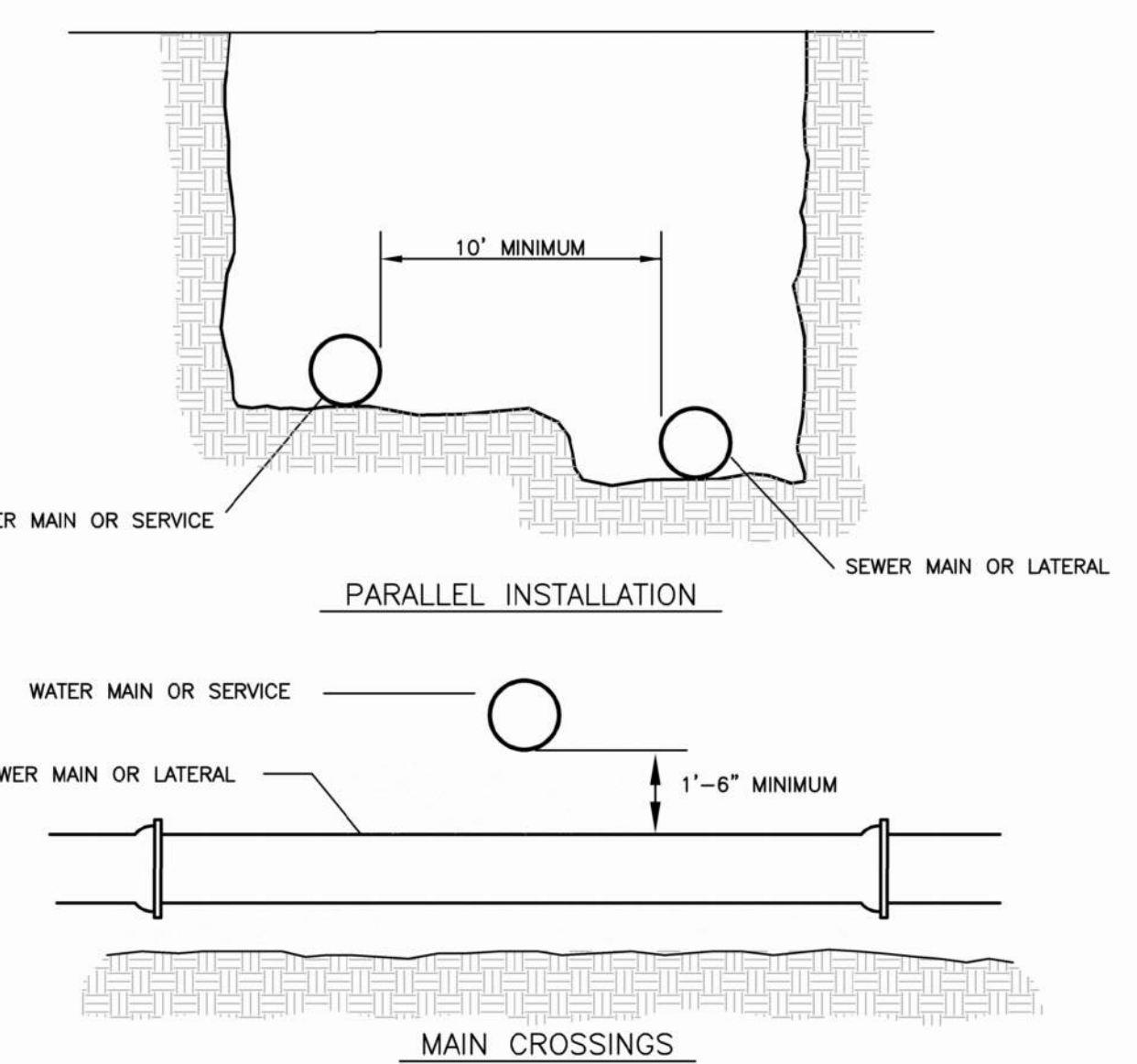
TRENCHING NOTES:

- EXTRA EXCAVATION OF UNSUITABLE MATERIAL BELOW GRADE AS DIRECTED BY ENGINEER. WHERE ORDERED BY THE ENGINEER TO STABILIZE THE TRENCH BASE, GRADED SCREENED GRAVEL OR CRUSHED STONE 1/2 INCH TO 1-1/2 INCH SHALL BE USED. SEE TRENCHING NOTE 6.
- BEDDING: CRUSHED STONE FREE FROM CLAY, LOAM, ORGANIC MATTER AND MEETING ASTM C33, STONE SIZE NO. 67.

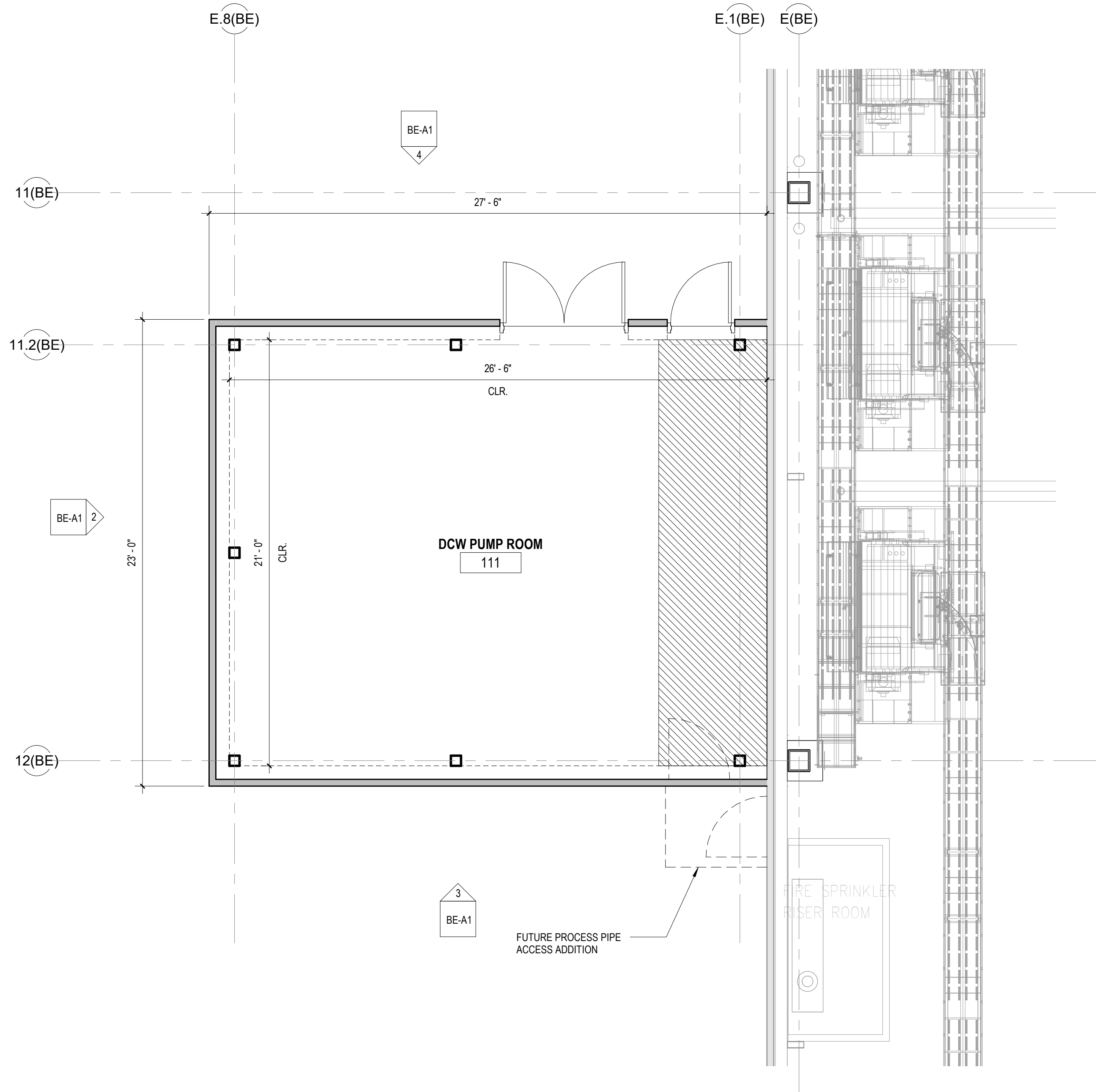
100% PASSING	1 INCH SCREEN
90-100% PASSING	3/4 INCH SCREEN
20-55% PASSING	3/8 INCH SCREEN
0-10% PASSING	# 4 SIEVE
0-5% PASSING	# 8 SIEVE
- SAND BLANKET: CLEAN SAND FREE FROM ORGANIC MATTER, SO GRADED THAT 90-100% PASSES A 1/2 INCH SIEVE AND NOT MORE THAN 15% PERCENT PASSING THE #200 SIEVE. SAND BLANKET MAY BE OMITTED FOR CAST-IRON, DUCTILE IRON AND REINFORCED CONCRETE PIPE PROVIDED HOWEVER, THAT NO STONE LARGER THAN 2" IS IN CONTACT WITH THE PIPE.
- SUITABLE MATERIAL: IN ROADS, ROAD SHOULDERS, WALK-WAYS AND TRAVELED WAYS, SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING THE COURSE OF CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIAL WHICH, AS DETERMINED BY THE ENGINEER, WILL NOT PROVIDE SUFFICIENT SUPPORT OR MAINTAIN THE COMPLETED CONSTRUCTION IN A STABLE CONDITION. IN CROSS-COUNTRY CONSTRUCTION, SUITABLE MATERIAL SHALL BE AS DESCRIBED ABOVE, EXCEPT THAT THE ENGINEER MAY PERMIT THE USE OF TOP SOIL, LOAM, MUCK OR PEAT, IF ENGINEER IS SATISFIED THAT THE COMPLETED CONSTRUCTION WILL BE ENTIRELY STABLE AND PROVIDED THAT EASY ACCESS TO THE SEWER FOR MAINTENANCE AND POSSIBLY RECONSTRUCTION, WHEN NECESSARY WILL BE PRESERVED.
- WHERE SHEETING IS PLACED ALONGSIDE THE PIPE AND EXTENDS BELOW MID-DIAMETER, IT SHALL BE CUT OFF AND LEFT IN PLACE TO AN ELEVATION NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE. WHERE SHEETING IS ORDERED BY THE ENGINEER TO BE LEFT IN PLACE, IT SHALL BE CUT OFF AT LEAST 3 FEET BELOW FINISHED GRADE, BUT NOT LESS THAN 1 FOOT ABOVE THE TOP OF THE PIPE.
- W = MAXIMUM ALLOWABLE TRENCH WIDTH FOR PAYMENT OF LEDGE EXCAVATION AND EXTRA EXCAVATION REFILL SHALL BE MEASURED AT A PLANE 12 INCHES ABOVE THE PIPE. FOR PIPES 15 INCHES NOMINAL DIAMETER OR LESS, W SHALL BE NO MORE THAN 36 INCHES; FOR PIPES GREATER THAN 15 INCHES NOMINAL DIAMETER, W SHALL BE 24 INCHES PLUS PIPE O.D. W SHALL ALSO BE THE PAYMENT WIDTH FOR LEDGE EXCAVATION AND FOR ORDERED EXCAVATION BELOW GRADE. FOR TRENCHES WITH DUAL SERVICE PIPES, W SHALL BE 48" PLUS O.D. OF BOTH PIPES. THERE SHALL BE A MINIMUM OF 24 INCHES SEPARATION BETWEEN SERVICE PIPES.
- PERMANENT PAVEMENT REPAIR SHALL EXTEND A MINIMUM OF 2'-0" BEYOND PROPOSED DISTURBED TRENCH WALL.
- FOR CROSS-COUNTRY CONSTRUCTION, BACKFILL OR FILL SHALL BE MOUND TO A HEIGHT OF 6 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- IN LIEU OF TRENCH PATCHING, CONTRACTOR MAY OPT TO GRIND EXISTING PAVEMENT FROM THE ENTIRE WIDTH OF ROADWAY & REPAVE W/ 3" BITUMINOUS SURFACE (2" BINDER COURSE, 1" WEARING COURSE) UPON COMPLETION OF TRENCHING OPERATIONS.



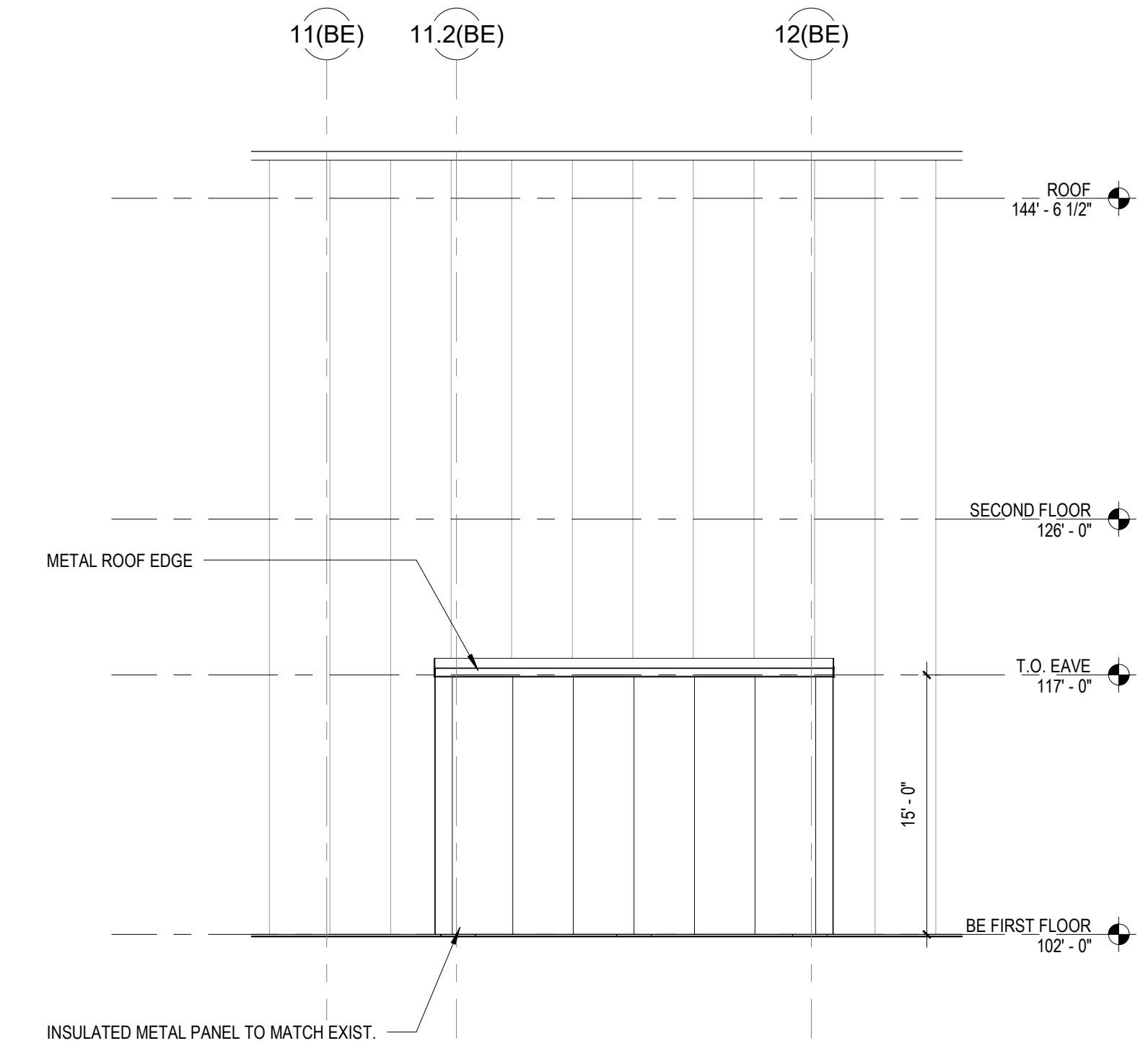
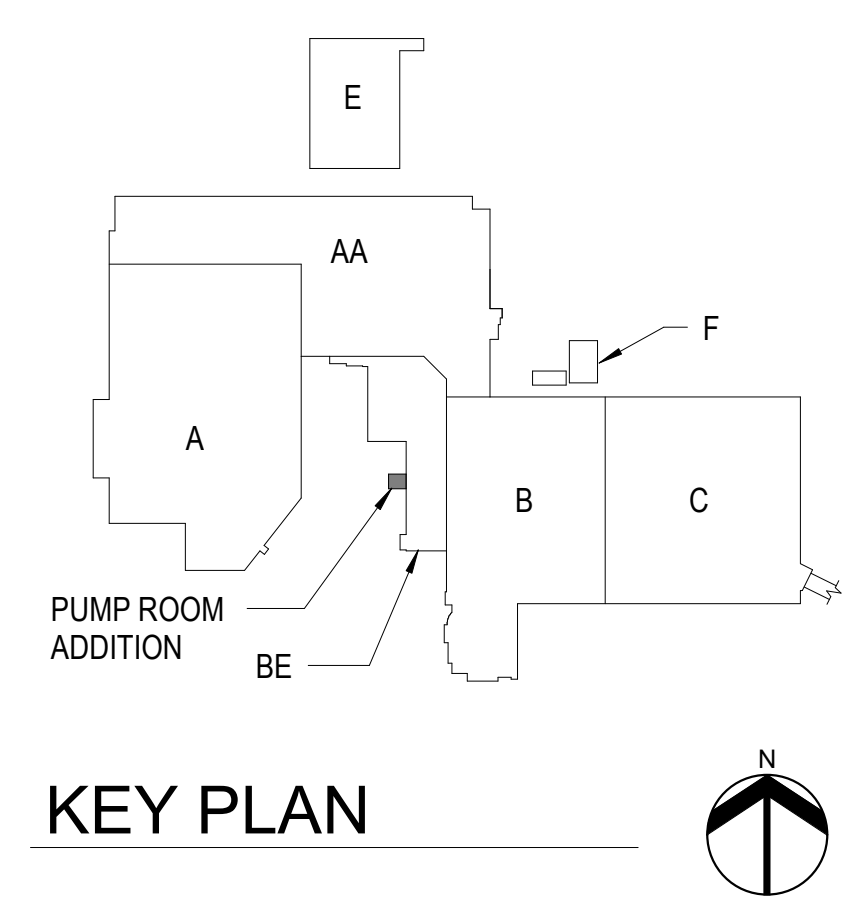
1 TYPICAL CLEAN OUT DETAIL
SCALE: NONE C2013



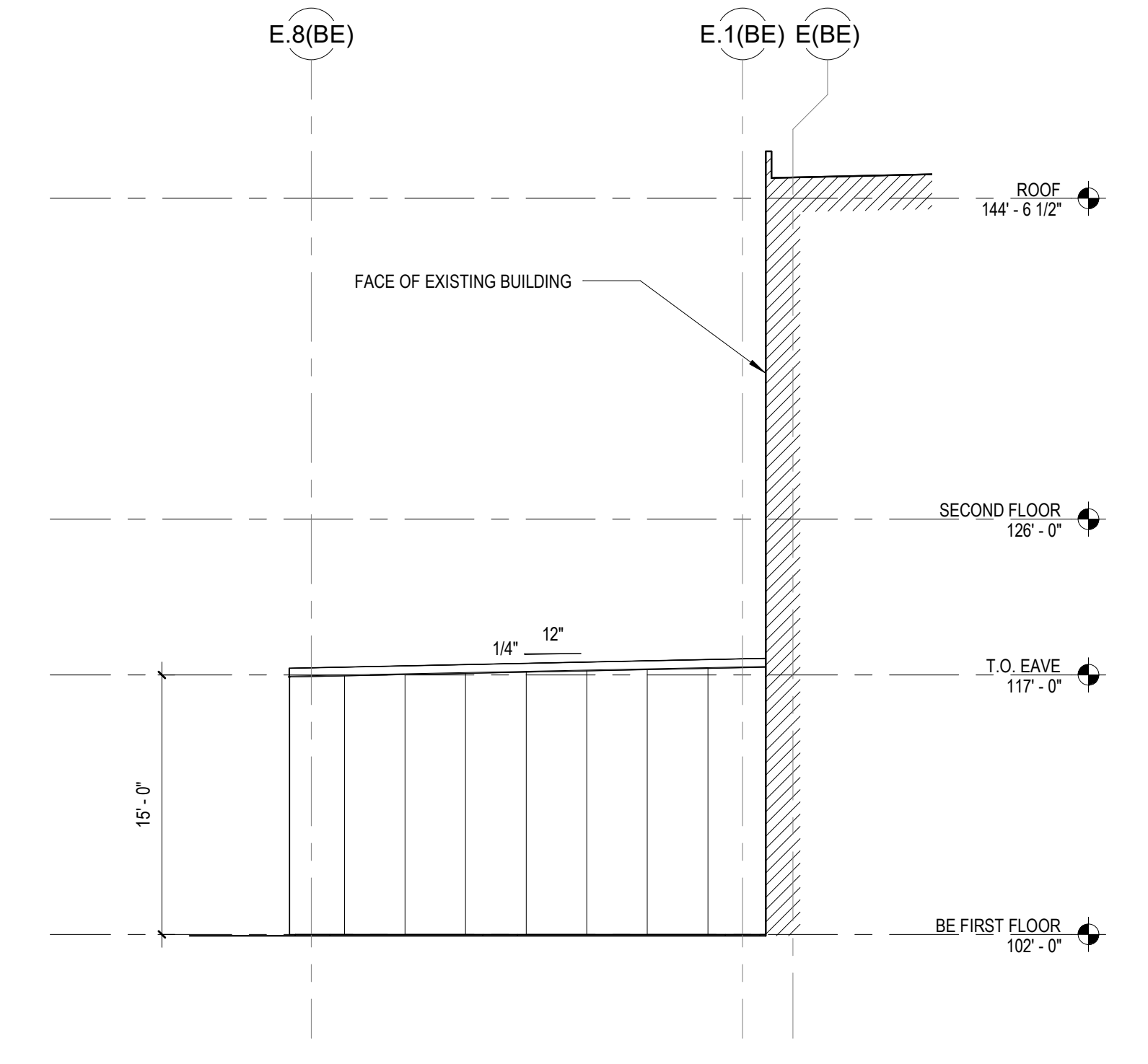
6 WATER MAIN/SEWER MAIN SEPARATION DETAIL
SCALE: NONE C5013K



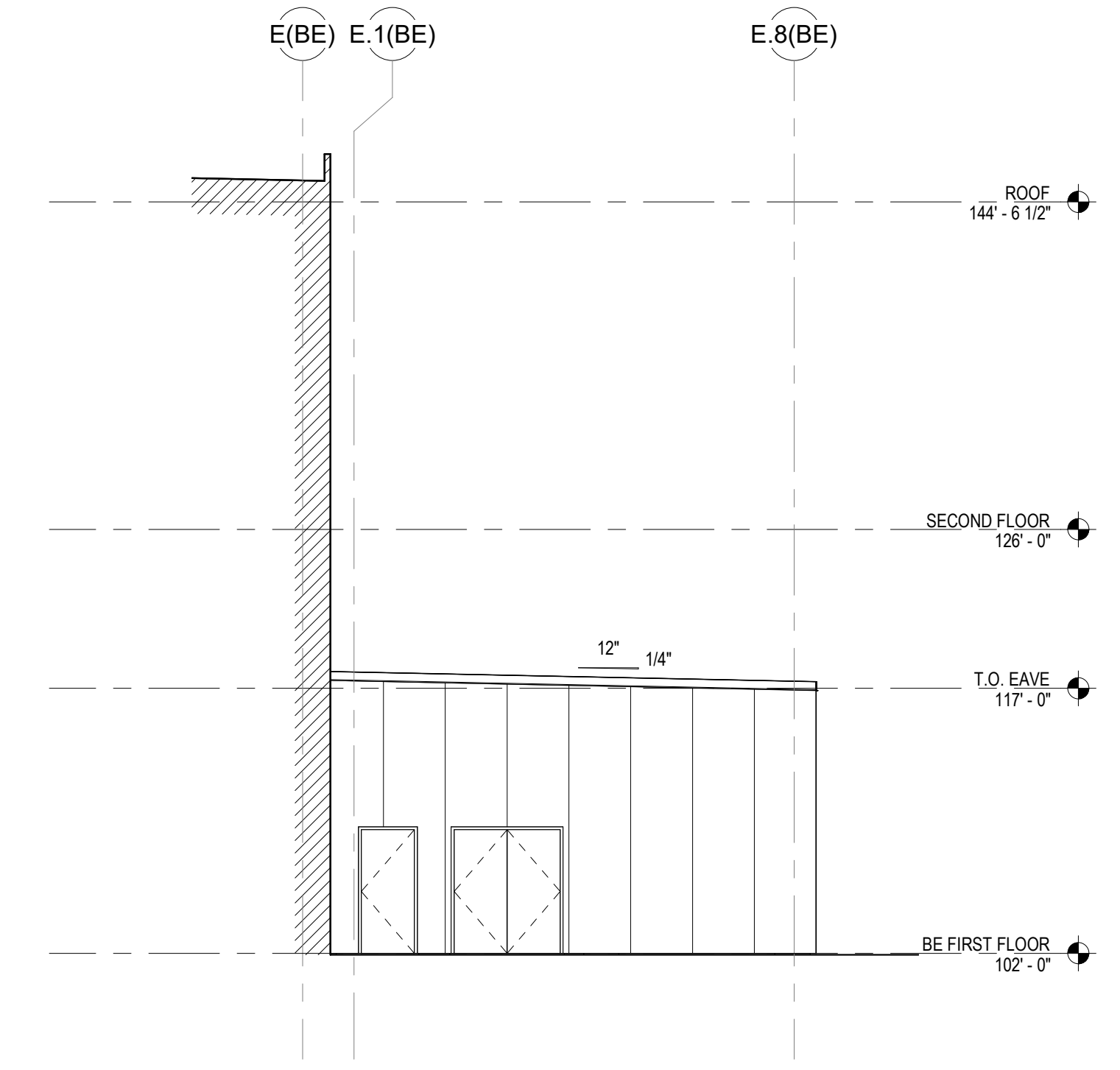
1 BE FIRST FLOOR PUMP ROOM PLAN
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/8" = 1'-0"



3 SOUTH ELEVATION
Scale: 1/8" = 1'-0"



4 NORTH ELEVATION
Scale: 1/8" = 1'-0"

LINDT & SPRUNGLI (USA) INC.

BUILDING BE PUMP ROOM ADDITION

FLOOR PLAN AND ELEVATIONS

PREPARED BY: HL TURNER GROUP, INC. ■ ARCHITECTS ■ ENGINEERS ■ BUILDING SCIENTISTS ■ 27 LOCKE RD. CONCORD, NH 03301, USA ■ 603.228.1122 ■ 603.228.1124 ■ www.hlturner.com

SCALE:
DATE: 01/22/2024
SHEET: BE-A1 PROJECT: 5396





TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board/Administration/Assessing 603-772-7391

Code Enforcement/Building Inspections/Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Planning & Community Development Director
FOR: February 21, 2024
RE: RPC TAC Representative Recommendation

The Rockingham Planning Commission (RPC) employs a Technical Advisory Committee (TAC) to advise the RPC staff and the RPC Commissioners on technical matters and to make recommendations on all transportation-related documents and plans. The TAC meets monthly and all municipalities in the Rockingham Region are assigned a voting member, as are a number of other public or quasi-public entities including public transit providers, various divisions of NHDOT and NHDES, and the Pease Development Authority. The TAC is an advisory committee and makes recommendations to policy-making bodies, but is not itself a policy-making body.

Most communities in the Rockingham Region assign a member of the Planning or DPW staff to serve on the TAC, though in some smaller communities, Board members or volunteers serve in the role. I currently serve as Stratham's TAC representative, however the RPC has notified the Planning Board that my term is up for renewal to expire on December 31, 2025 (see attached letter from RPC). The Planning Board should nominate someone to serve in this role which will need to be approved by the Select Board at its next meeting.

I would be happy to continue to serve as Stratham's TAC representative moving forward, although of course the Board has the option to nominate someone else to the role.

TAC meetings are held on the fourth Thursday of the month at 12 noon at the RPC offices in Exeter and are open to the public.

Draft Motion:

I nominate Mark Connors, Planning Director, to serve as Stratham's representative to the Rockingham Planning Commission Technical Advisory Committee to a two-year term to expire on December 31, 2025, with Susan Connors, Planning Project Assistant, to serve as the Town's alternate representative.

January 29, 2024

Tom House, Chair
Stratham Planning Board
10 Bunker Hill Avenue
Stratham, NH, 03885

Dear Mr. House,

As we welcome the start of a new year, we are excited to announce that we are making some welcomed changes to the Transportation Advisory Committee (TAC). The TAC is one of two standing committees of the Rockingham Metropolitan Planning Organization (MPO). The MPO is a federally designated entity, staffed by Rockingham Planning Commission (RPC), that administers the urban transportation planning process for the 27 communities of the RPC.

The purpose of the TAC is to provide technical advice and recommendations to the MPO's Policy Committee concerning transportation issues that have a bearing on the region. Specifically, this often involves prioritizing transportation improvement projects, reviewing studies, and providing input to New Hampshire DOT and other agencies. The TAC has one appointed member from each community.

Stratham is currently an active member of the TAC. Your TAC representative is Mark Connors, however, his term expired on 6/30/23. Please confirm that Mr. Connors still wishes to participate in the TAC for the 2-year period of January 1, 2024, to December 31, 2025, by completing the attached form. You must also complete a formal nomination process according to the following procedures: the Planning Board nominates a TAC representative for consideration by the Selectmen and the Selectmen make the appointment. RPC is then informed in writing by the Selectmen of the appointment. The date of appointment, name, address, telephone number, and e-mail address of the newly appointed commissioner should be included in the notification letter to RPC.

If Mr. Connors cannot or no longer wishes to serve on the TAC, a new representative can be appointed following the procedures outlined above. TAC members are often town/city planners, planning board members, public works employees, or other members of community leadership. Residents interested in transportation may also be appointed.

TAC meetings are normally held monthly on the fourth Thursday of the month at the Rockingham Planning Commission offices. Beginning in 2024, meetings will take place at 12:00 and lunch will be provided. In the new year, we will also be offering TAC members with and updated orientation and training session, guest speakers, and opportunities to provide input on State Ten Year Plan priorities, the Long Range Transportation Plan, and the development of a Regional Safety Action Plan.

We look forward to your community's continued participation on this important committee and we thank you for your time. Please do not hesitate to contact the RPC office if you have any questions.

Sincerely,



David Walker, Assistant Director

cc: Tom House, Planning Board Chair
David Moore, Town Administrator
Lucy Cushman, Joseph Johnson, RPC Commissioners
Mark Connors, Current TAC Member

EXISTING APPOINTEE(S)

Name:
Address:

Home Phone:
Cell/Work Phone:
Email:

Alternate

Name:
Address:

Home Phone:
Cell/Work Phone:
Email:

Please check one of the following:

- The signature of the Appointing Official below confirms the above-named Existing Appointee(s) shall continue as the TAC representative(s) of the Rockingham MPO Transportation Advisory Committee for the 2-year period of January 1, 2024 to December 31, 2025. This person will officially be nominated to the position using the procedures outlined in the attached letter.

- The signature of the Appointing Official below confirms the above-named Existing Appointee(s) will no longer serve as the TAC representative(s) of the Rockingham MPO Transportation Advisory Committee. A new representative will be selected for the 2-year period of January 1, 2024 to December 31, 2025, using the procedures outlined in the attached letter.

Board of Selectmen

Date



TOWN OF STRATHAM

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Select Board/Administration/Assessing 603-772-7391

Code Enforcement/Building Inspections/Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Planning & Community Development Director
FOR: February 21, 2024
RE: Legislative Update

There are a significant number of bills currently pending in front of the State Legislature related to Planning Board functions, including zoning regulations, appeals of Planning Board decisions, ADUs, and local land use regulations related to new housing production. It is important to remember that in a typical year only a relatively small fraction of bills pass both houses of the legislature and are signed into law by the Governor, however it is important to monitor their progress particularly as they relate to core functions of the Planning Board. Staff will update the Board on current bills pending before the legislature and the status of such bills.



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Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Planning & Community Development Director
FOR: February 21, 2024
RE: Draft Open Space & Connectivity Plan Update

The Draft Open Space & Connectivity Plan is now posted for public review. A key recommendation of the 2019 Master Plan, the Open Space and Connectivity Plan will guide the Town's efforts related to land conservation and stewardship, trail systems and facilitating connections for trails, the encouragement of non-motorized forms of transportation and recreation, and the effective management of open space resources and public education and promotion of these resources. Approximately 25 percent of Stratham's land area is made up of permanently protected open spaces.

The best way to access the plan, and utilize its electronic mapping features, is over the Internet.

The draft plan can be accessed at:

<https://bit.ly/StrathamOSCP>

Staff will revisit the draft plan with the Planning Board, after you've had some time to review it, at the March 2, 2024 meeting.



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Code Enforcement/Building Inspections/Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Planning & Community Development Director
FOR: February 21, 2024
RE: 189 Bunker Hill Avenue six-lot subdivision application

The Planning Department has received the following application scheduled for public hearing at the Planning Board's upcoming meeting on March 6, 2024:

Chinburg Properties, Inc. (Applicant), Lanzillo Irrevocable Trust (Owner) - Request for approval of a proposed conventional subdivision of 189 Bunker Hill Avenue, Tax Map 6, Lot 167, into six buildable lots served by a new road. The parcel is Zoned Residential/Agricultural. Application submitted by Beals Associates, 70 Portsmouth Avenue, Stratham, NH 03885.

The application materials are posted to the Planning Board website, under the 'Pending Applications' tab at <https://www.strathamnh.gov/planning-board>

The Board will remember it held a preliminary review of the proposal in December 2023. The Board should wait until the public hearing to engage in a discussion of the application, however it would be helpful for staff to make arrangements for a third-party engineering review of the plans and associated materials. A draft motion is offered below:

I authorize the Planning Director to obtain the services of the Town's consulting engineer to engage in a comprehensive third-party engineering review of the plans and associated materials for the pending subdivision application at 189 Bunker Hill Avenue.